

Section 5 Declaration - Application Form

1. Name and address of person seeking the declaration:

MARTIN O GRADY

Phone Number

2. Name and address of agent (if any):

IAN HEFFERNAN BENQ MIEI

Phone Number:

3. Name and address for all correspondence (if not completed, correspondence will be sent to person seeking declaration)

in Newcraft Construction Ltd

4. Interest in site of the person seeking declaration:

(If applicant is not freehold owner of the property in question, please provide name and address of owner if known)

5. Location and full address of development referred to in Question 7

MAYORALTY MILL, MAYORALTY ST
DROGHEDA CO LOUTH A92 WP68

6. Eircode OR Grid Co-ordinates must be submitted. Grid references may be found on Google Maps or at

<https://irish.gridreferencefinder.com>

A92 WP68

7. Question for determination under Section 5 (See Note 1 above).

The question must be framed in the following format, i.e. Is the construction of a shed development and is it or is it not exempted development:

IS THE INSTALLATION OF WINDOWS IN EXISTING OPENINGS THAT WAS BLOCKED UP FROM PREVIOUS OWNERS, AT THE REAR OF THE PROPERTY, TO IMPROVE NATURAL LIGHT + VENTILATION TO BEDROOMS LOCATED AT THE REAR OF THE PROPERTY, GRANTED PLANNING

8. Does the development consist of works to be carried out to an existing or proposed protected structure? Yes ☒ No ☒

If Yes, has a Declaration under Section 57 of the Planning and Development Act 2000 been requested or issued for the property by the Planning Authority?

The front of the building has a section that is protected, but the building at the rear is not protected where the windows are to be installed

I certify that the aforementioned is correct. planning no ~~BUBA~~ 19490

Signature of Applicant: Martin O'Connell Date 05/05/2026

Please include one copy of the following documents with this application form:

- Site Location Map: (Scale 1:1000)
- Site Layout Map: (Scale 1:200 or 1:500)
- Floor Plans & Elevations: (Scale 1:50, 1:100 or 1:200)
Existing & Proposed, where applicable
- Application fee: (€80)

Completed Application Form & Fee of €80.00 may be sent to:

Planning Office, Louth County Council, Town Hall, Crowe Street,
Dundalk, County Louth, A91W20C

OR

by email to planninggroup@louthcoco.ie with contact details to arrange payment of fee.

HIGHLANES GALLERY

CITIZEN INFORMATION OFFICE

EXISTING NEIGHBOURING BUILDING

EXISTING INTERNAL COURTYARD

PRIVATE CAR PARK

INTREO EMPLOYMENT OFFICE

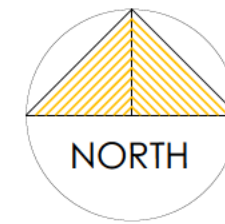
WORKSPACE CENTRE

EXISTING BUILDING WHICH IS PARTIALLY A PROTECTED STRUCTURE DB-008 (NIAH REF NO 13622023) OUTLINED IN BLUE DASHED LINE

SITE LAYOUT PLAN
SCALE 1:250

Submitted on 01-08-2025

NOTES
Figures and dimensions are to be taken from drawings.
All dimensions to be checked on site before work commences and Architect to be informed of any discrepancies.
All work is to comply with the current Building Regulations.
This drawing is copyright.



Please Note
Do not scale from drawing.
All dimensions should be verified on site before construction or manufacture and any discrepancies found brought to the attention of TPE. All drawings remain the property of TPE. permission must be sought to copy any drawing or section of the drawing.

Rev	Date	Description	Revision

CLIENT: MAYORALTY LTD.
PROJECT: MAYORALTY ST., DROGHEDA, CO. LOUTH
PROJECT NO.: 2024-J-FSC
DRAWING NUMBER: 002
DRAWING NAME: SITE LAYOUT MAP

SCALE: 1:250 @ A2 DATE: NOV '24
DRAWN BY: SM APPROVED BY: TE

Thomas P. English & Associates
165 Ballymun Road, Glasnevin,
Dublin 9, D09 EH11.



PROPOSED NEW DEVELOPMENT (SHOWN SHADED YELLOW)	
TO BE REMOVED (SHOWN DASHED)	
BUILDING OF REGIONAL IMPORTANCE	
AREA OF A.C.A. (REF. NO. 10 NORTH) OUTLINED IN GREEN	



50 NORTH ROAD
DROGHEDA
CO. LOUTH
A92 W725

MCKEVITT KING
ARCHITECTS

t: 041 9832950
e: info@mckevittking.ie
w: www.mckevittking.ie

PROJECT CHANGE OF USE AND REFURBISHMENT AT MAYORALTY STREET, DROGHEDA, CO. LOUTH (FORMER BRANIGAN WEAVERS)		
TITLE PROPOSED SITE LAYOUT PLAN	SCALE 1:250 @ A2	DATE June 2019
STAGE	DRAWN BY TcB/E.B.	PLOT DATE 17.06.2019
	PROJECT NO. C 519	
CLIENT MAYORALTY LTD	DRAWING NO.	



**Tailte
Éireann**

Clárúchán, Luacháil,
Suirbhéireacht
Registration, Valuation,
Surveying

Tailte Éireann Sealed and Certified Copy Folio (& Title Plan)

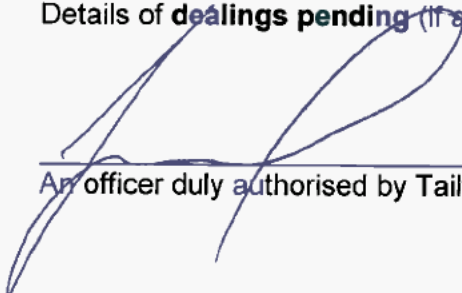
PATRICK BRANIGAN & CO. SOLICITORS
DX 23020
DROGHEDA

This page forms part of the official document. Do not detach.

Folio Number: LH39652F
Application Number: P2024LR100289D
Your Reference: bal0001008

This document comprises a sealed and certified copy of the Tailte Éireann record for the above mentioned folio/title plan as of the date appearing.

Details of ~~dealings pending~~ (if any) are listed in the **Schedule** below.


An officer duly authorised by Tailte Éireann

Schedule

Notes:

1. Title plans should be read in conjunction with the folio. The description of the land on the folio or on the title plan is not conclusive as to the boundaries or extent of the land (see Section 85 of the Registration of Title Act 1964, as substituted by Section 62 of the Registration of Deeds and Title Act, 2006).
2. Title plans greater than A3 in size may be provided as separate A3 tiles with an overlap and print gutter. When aligning the tiled sheets, customers are advised to use the underlying topographical detail.
3. On receipt of this record, please check to verify that all the details contained therein are correct. If this is not the case, please return the document to Tailte Éireann immediately.

Land Registry**County Louth****Folio 39652F****Register of Ownership of Freehold Land****Part 1(A) - The Property**

Note: Unless a note to the contrary appears, neither the description of land in the register nor its identification by reference to the Registry Map is conclusive as to boundaries or extent

For parts transferred see Part 1(B)

No.	Description	Official Notes
1	The property shown coloured Red as plan(s) DJHP1 on the Registry Map, situate in the Parish of St. Peter's, in the Townland of MONEYMORE, in the Barony of DROGHEDA, in the Electoral Division of FAIR GATE.	Instrument D2017LR084047X
	The Registration does not extend to the mines and minerals	

Land Registry

County Louth

Folio 39652F

Part 1(B) - Property

Parts Transferred

No. Prop No:	Instrument:	Date:	Area(Hectares):	Plan:	Folio No:
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Land Registry

County Louth

Folio 39652F

Part 2 - Ownership

Title ABSOLUTE

No. The devolution of the property is subject to the provisions of Part
II of the Succession Act, 1965

D2017LR061435A

Cancelled

D2021LR061435A

06-MAY-2021

2 06-MAY-2021 BALLYGORMAN CONTRACTS LIMITED (CRO REG NO: 479274) of Bree,
D2021LR061435A Malin Head, County Donegal is full owner.

Land Registry

County Louth

Folio 39652F

Part 3 - Burdens and Notices of Burdens

No.	Particulars
-----	-------------

709220 mE, 775320 mN



Tailte Éireann
Círiochán, Luacháil,
Súbhéiríocht,
Séimniú, Valúáil,
Súirbhí

Folio: LH39652F

This map should be read in conjunction with the folio.

Tailte Éireann (TÉ) Registration mapping is based on TÉ Surveying mapping. Where TÉ Registration maps are printed at a scale that is larger than the TÉ Surveying scale, accuracy is limited to that of the TÉ Surveying map scale.

For details of the terms of use and limitations of scale, accuracy and other conditions relating to TÉ Registration maps, see www.tailte.ie.

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(centre-line of parcel(s) edged)

Freehold

Leasehold

SubLeasehold

Burdens (may not all be represented on map)

Right of Way / Wayleave

Turbary

Pipeline

Well

Pump

Septic Tank

Soak Pit



A full list of burdens and their symbology can be found at:
www.landdirect.ie

Tailte Éireann Registration operates a non-conclusive boundary system.

The TÉ Registration map identifies properties not boundaries meaning neither the description of land in a folio nor its identification by reference to a TÉ Registration map is conclusive as to the boundaries or extent. (see Section 85 of the Registration of Title Act, 1964). As inserted by Section 62 of the Registration of Deed and Title Act 2006.



1:1000 Scale

First floor plans...

PDF reader



PLANNING SEARCH
made in the office of
THE PLANNING DEPARTMENT
of Louth County Council
on the 11 October, 2024

in respect of premises: Mayoralty Mill, Mayoralty Street, Drogheda,
County Louth

Zoning: Regeneration

Planning Applications
Appearing on the Register: 1964 to date.

Planning ref: 04510302

Applicant: Ashcliff Holdings

Development: Permission to demolish existing building & construct 2 blocks of apts with a shop & ground floor parking. Block 1 (Block A) incorporating 3 additional storey levels to provide a 6 storey block fronting The Mall & containing 12 two bed apartments & 2 one bed penthouse units, 14 in total. Block 2 (Block B) to the rear on Bachelors Lane, reducing in depth to provide for one apartment deep units with dual aspect and comprising a 5 storey block containing 15 two bed apartments together with roof garden (29 units in total). Additional ground & basement car parking, services, traffic management & increase in private open space

Outcome: Permission granted 9th November 2005

Planning ref: 85510105

Applicant: Workspace Ltd

Development: Change of use from light industrial to school

Outcome: Permission granted 31st October 1985

Planning ref: 92510071

Applicant: Workspace Ltd

Development: Two new apartments to second floor, change of roof structure and coverings and alts. to ex. buildings

Outcome: Permission granted 24th October 1992

Planning ref: 19490

Applicant: Mayoralty Ltd

Development: Permission for development at partially Protected Structure Ref. No. DB-008 (NIAH Ref. No. 13622023) and is located within an ACA (Ref. No. 10-North Quay). Development consists of the change of use for entire building as per previous granted permission (Ref. No. 17823) to hostel which includes accommodation, private commercial kitchen, dining and lounge areas and all associated site works

Outcome: Permission granted 10th February 2020

Planning ref: 17823

Applicant: Mayoralty Ltd

Development: Permission and Retention Permission for a development which is a partially protected structure ref no. DB-008 (NIAH ref. no 13622023) and located within an ACA (ref no. 10- North Quay). The development will consist of the following: 1. Retention of finishes and window treatment to front elevation 2. Retention of front wall to rear building off the courtyard 3. Retention of roof types to rear buildings 4. Change of use for entire building to bar, lounge & restaurant venue 5. Internal alterations to existing buildings 6. Existing roof to front building to be replaced with new roof structure and roof finish & associated work 7. Alterations to rear elevation of front building including the reinstating of existing blocked up windows 8. Alterations to elevations of rear buildings 9. Widening of two single doors to front elevation 10. Replacing existing gates in archway to front elevation 11. New signage to front elevation 12. New seating area to front of existing building 13. 3 no. suspended flag poles to front elevation 14. New hard landscaping to front forecourt and courtyard 15. All associated site works

Outcome: Retention permission granted 5th February 2018

Planning ref: 04510242

Applicant: Citizens Information Service & Drogheda MABS

Development: Bld.listed Protected Structure.Dev.consists of 1.Provision 3 no.windows at gnd.flr.level on Bachelors Lane. 2.1 no.window at gnd.flr.level on Mayoralty St to provide natural light to 2 no.offices. 3. Replace front doors with new glazed doors on Mayoralty St. 4.New external ramped & stepped approach to main entrance. 5.Removal of part of boundary wall to allow access to parking area & proposed ramped access. 6.Lowering of sills to 3 no.windows at 1st flr.level on Mayoralty St for increased light to existing offices, for use as Citizens Information Centre on gnd.flr. & continued use as Drogheda MABS offices on 1st flr

Outcome: Permission granted 3rd March 2005

Planning ref: 04510058

Applicant: Citizens Information Service

Development: The Development will consist of the provision of 3 no. windows at ground floor level on the north gable and 1 no. window at ground floor level on the west elevation to provide natural light to 2 no. offices for use as Citizens Information Centre

Outcome: Incomplete application

Planning ref: 01510261

Applicant: James Wall

Development: To vary as applied for under planning reference No 01/261 to include revised window positions at Retail/Office Unit

Outcome: Permission granted 31st May 2002

Planning ref: 04510122

Applicant: Citizens Information Service

Development: This building is listed as a protected structure. The development will consist of the provision of 3 no. windows at ground floor level on Bachelors Lane & 1 no. window at ground floor level on Mayoralty Street to provide natural light to 2 no. offices for use as Citizens Information Centre

Outcome: Incomplete application



Road Widening/CPO's: Nil

Enforcements: Nil

Development Plan Miscellaneous:

Protected Structure

RPS ID: DB-006

NIAH No: 13622025

NIAH

Reg No: 13622023

Description: Attached seven-bay four-storey former mill formerly with integral carriage arch, built c. 1780, three-bay two-storey extension to north, c. 1800, renovated 2004, now in commercial use. Buildings arranged around internal courtyard to east. Pitched slate roof, stone verge coping to gables, replacement aluminium rainwater goods. Random rubble stone walling with modern tie bars. Square-headed window openings, tooled limestone surrounds, keystone and sills; red brick surrounds, stone sills and lintels to north extension; painted timber casement windows. Square-headed door opening, smooth rendered surround, painted timber panelled door; segmental-headed carriage arch, smooth rendered surround, mild steel gates, segmental-headed door and carriage arch to north extension, red brick arches, painted timber glazed and sheeted doors. Street fronted.

Architectural Conservation Area.

Zone of Archaeological Potential.

SMR Zone.



MCKEVITT KING
ARCHITECTS

CONSERVATION REPORT

to accompany planning application for

**Change of Use and Refurbishment at
Mayoralty Street, Drogheda, Co. Louth (Former Branigan Weavers)**

**Protected Structure Ref: DB-008
NIAH Registration No.: 13622023
Architectural Conservation Area (ACA) – 10. North Quay,
(including Back Lanes), Drogheda**

Client: Mayoralty Ltd

Date: June 2019

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- | | |
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Appendix No. 3 *Proposed Drawings*

- | | |
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1.0 INTRODUCTION

1.1 ARCHITECTS

The Planning Application has been prepared by:

McKevitt King Architects
50 North Road
Drogheda
Co. Louth
A92 W725
Tel: 041 9832950

1.2 BACKGROUND

This report has been prepared to accompany a Planning Application for proposed change of use and refurbishment to the Former Branigan Weavers Building, Mayorally St, Drogheda, Co. Louth (a partial Protected Structure) summarised as follows:

- *change of use for entire building as per previous granted permission (Ref No: 17823) to hostel which includes accommodation, private commercial kitchen, dining and lounges areas.*
- *refurbishment and remodelling of the building comprising partial demolition works, remodelling and upgrade works*

along with all associated works.

The purpose of this report is to outline all relevant issues pertaining to the historic fabric and the proposed impact of the new works on this fabric and heritage significance.

Proposed Works as included in the Change of Use Planning Application – Proposed Hostel (June 2019) are described in 'black text'.

A description of the proposed works which were sought (Planning Application Ref No: 17823) and previously granted (22 no. conditions attached to the Grant of Permission) are noted in 'blue italix text'. Any changes to these previously granted proposals are also included in the 'black text' as proposed works (June 2019 application).

Please note, the application previously submitted in 2017 by Mayorally Ltd (Ref No: 17823) was for the following:

- 1. Retention of finishes and window treatment to front elevation*
- 2. Retention of front wall to rear building off the courtyard*
- 3. Retention of roof types to rear buildings*
- 4. Change of use for entire building to bar, lounge & restaurant venue*
- 5. Internal alterations to existing buildings*
- 6. Existing roof to front building (protected structure) to be replaced with new roof structure and roof finish & associated work*
- 7. Alterations to rear elevation of front building (protected structure) including the reinstating of existing blocked up windows*

8. Alterations to elevations of rear buildings
9. Widening of two single doors to front elevation
10. Replacing existing gates in archway to front elevation
11. New signage to front elevation
12. 3 no. suspended flag poles to front elevation
13. New hard landscaping to front forecourt and courtyard
14. All associated site works.

This application was granted permission subject to 22 no. conditions attached to the permission.

1.3 PROTECTED STRUCTURE INFORMATION

Louth Coun Council Ref Protected Structure :

DB-008

Only the front building in this complex is a Protected Structure, it is a building of Regional Importance. The remaining 'U-shaped' building is not listed as a Protected Structure.

Architectural Conservation Area(ACA):

North Quay, Drogheda

NIAH Registration No.:

13622023

Category of Special Interest:

Architectural/Technical

1.4 BRIEF DESCRIPTION

The development consists of refurbishment and upgrade works to the former Branigan Weavers Building at Mayoralty Street, Drogheda, Co. Louth (partially protected structure) associated with this change of use application.

The proposed works to the protected structure (front building) include fit out and upgrading works for use as hostel accommodation associated with the proposed hostel use.

The proposed works to the U-shaped building include fit out and upgrading works to provide hostel accommodation along with private commercial kitchen, dining and lounges areas associated with the proposed hostel use.

1.5 :



Shopping Centre

Figure No 1. Site in Context - Aerial View of Drogheda in early 1993
(Source: *The Streets and Lanes of Drogheda* by James Garry)

The site (Figure No. 1) is located at a prominent location at the north end of Mayoralty Street at the intersection with Bachelors Lane. It is a busy narrow street off the North Quay which derives its character from the strong sense of enclosure created by the 18th and 19th century warehouse type buildings that line both sides.

Mayoralty Street is dominated by two important and monumental 18th century buildings at either end, Mayoralty House and Branigan Weavers Mill. The footprint of the proposed works is defined by the site boundary of the mill building which is bounded on its north by a part 2 storey former mill building which is now used as an office and part single storey commercial premises, on its south it is bounded by a car park/yard belonging to the Intreo Employment Office, on the west by Mayoralty Street itself and to the east by a building and yard which is in the ownership of a third party.

The Mill Building is set back from the street which creates a widening just off the corner of Bachelors Lane and Mayoralty Street.

1.6 HISTORICAL CONTEXT

1.6.1 Historical Maps

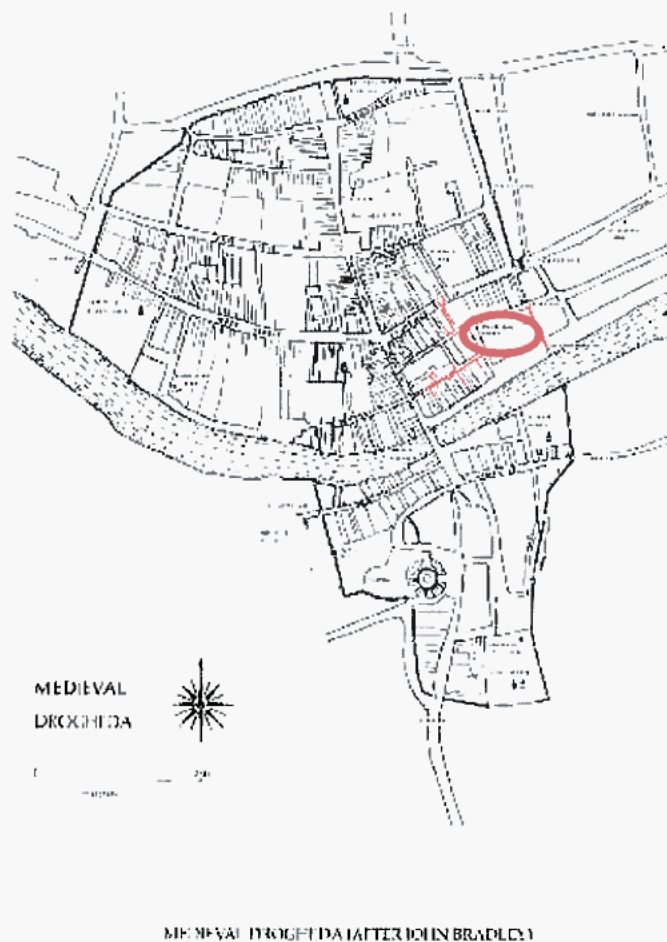


Figure No. 2 - Medieval Map of Drogheda
(Source: The Streets and Lanes of Drogheda by James Garry)



Figure No. 3 - Map of Drogheda 1778
(Source: Taylor and Skinner Map 1778)



Figure No. 4 – Map of Drogheda 1908
(Source: The Streets and Lanes of Drogheda by James Garry)

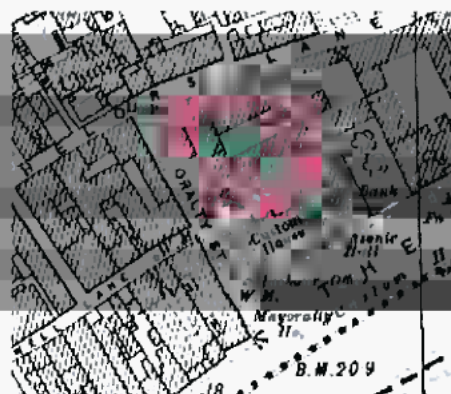


Figure No. 5 – Map of Mayoralty Street, Drogheda 1908
(Source: The Streets and Lanes of Drogheda by James Garry)

1.6.2 Mayoralty Street

Mayoralty Street is one of the only streets in Drogheda with existing mill buildings still intact on both sides. The street is perpendicular to the River Boyne and it runs in a northerly direction from North Quay to Bachelors Lane and is less than 100 meters in length. At its midway point it is intersected with Bessexwell Lane on its west side linking Mayoralty Street to Shop Street. Mayoralty Street is a narrow North South artery with a strong sense of enclosure provided by the tall warehouse buildings on both sides of the Street north of Bessexwell Lane and by office buildings and Mayoralty House to the south of Bessexwell Lane. The street is dominated by two important 18th century buildings, Mayoralty House and the former Branigan Weavers.

In architectural terms the buildings on Mayoralty Street to the north side of the junction with Bessexwell Lane are random rubble stone walls with brick, stone and plastered surrounds. Traditionally roofs would have had a natural slate finish which have been replaced with materials of lesser quality in more recent times. To the south side of Bessexwell Lane, buildings on the street are finished in render, cut stone and brick. With the exception of the Intreo Employment Building, all of the other buildings on Mayoralty Street are historic in their nature and confer the sense of character particular to this street. The buildings date from the 1760s - 1780s and taken individually and as a streetscape are of historic value, reflected in the significant number of buildings contained on the Record of Protected Structures. It still retains the warehouse character established by the mill buildings along with a civic presence provided by Mayoralty House itself.

Originally known as Flint Street, Mayoralty Street is located in the center of an Architectural Conservation Area (North Quay, including Back Lanes). Over the years the buildings lining the street have taken on various uses. The front facades and overall character of the street for the most part have remained intact.

1.6.3 Former Branigan Weavers Mill

The Former Branigan Weavers Mill building (Figure No. 6) is a four storey, seven bay stone building, built circa 1780 on Bachelor's Lane/Mayoralty Street at the rear of the site of the former Custom House Building (now the Intreo Employment Office). The west façade includes an integral carriage arch at ground floor level random rubble stone walling (brought to course) with modern tie bars, square-headed window openings, tooled limestone surrounds, keystone and sills.

The National Inventory of Ireland notes that the building is of regional importance for its architectural and technical characteristics. The building reflects the importance of Drogheda as an industrial town which was dependent on the quays as a source of life. The former warehouse building (front building in this complex) is listed as a Protected Structure in the Louth County Development Plan 2015-2021 (ref: DB-008). This front building addresses the street and is set back from it. The remainder of the building is 'U-shaped' in form enclosing a central external courtyard. The building is ingrained into the urban fabric of this area.

The building has had many uses over the last number of years – commercial, educational, light industrial for Branigan Weavers, primary school (Scoil Aonghusa occupied the premises for 8 no. years between 1985 – 1993), Tea Rooms, Drogheda Enterprise Centre. The building is currently vacant.

The mill was an integral part of the infrastructure of the working north quays. Since the departure of shipping from the North Quay, many of the former mill buildings and warehouses in the area have been converted into apartments and commercial premises.

The building represents an important era in the history and development of the town and continues to make a positive addition to the streetscape. *(Reference NIAH).*

Figure No. 6 – Former Branigans Weavers Mill

1.6.4 Mayoralty House

Designed by Hugh Darley, constructed in 1765, Mayoralty House (Figure No. 7) was an important civic building at the time of its construction. It is a fine limestone building which stands testament to the former prosperity of dockside trade in Drogheda. *(Reference NIAH).*

Figure No. 7 – Mayoralty House

1.6.5 Custom House Quay

The Custom House (Figure No. 8) sat on the current site of the Labour Exchange which sits to the south of the applicants site. Mayoralty House and the Customs House created a high quality square/civic space along the North Quay (Figure No. 8). The Custom House building burned to ground in 1955 and was replaced with the current building which lacks the quality and interest of the original building. (*Reference the Streets and Lanes of Drogheda by James Garry*).

Figure No. 8 – Custom House

Figure No. 9 – Custom House / North Quay

1.7 PROPOSAL

This planning application is for the following:

Mayoralty Ltd, intend to apply for permission for development at Mayoralty Street, Drogheda, Co. Louth (former Branigan Weavers) which is partially a protected structure Ref No. DB-008 (NIAH ref no. 13622023) and located within an ACA (Ref No: 10 - North Quay, including Back Lanes).

The development will consist of the change of use for the entire building as per previous granted permission (Ref No. 17823) to hostel which includes accommodation, private commercial kitchen, dining and lounges areas and all associated site works. The proposed accommodation will include a mix of

- 1 no. bedroom self-catering apartments
- Double/twin bedrooms with en-suite facilities and
- Dormitories (4no. bed and 6 no. bed) all complete with en-suite facilities.

1.8 DESIGN INTENT - APPROACH TO THE PROPOSED WORKS / CONSERVATION

The proposed works form part of a strategy which looks at revitalizing and finding a new use for an important example of a historic mill building which has been vacant for almost a decade. The proposal will assist in securing this important building into the future. The success of this planning application is critical to the ongoing maintenance and care of the building without which it will inevitably cause future deterioration to the fabric.

The design approach adopted for these proposed works is to:

- Provide occupancy preventing any further deterioration of the building;
- Open the building up to a wider public audience.

These works are focused on guaranteeing the building's future and continued presence as part of the historic streetscape of Mayoralty Street.

To enable this complex of buildings (Front Building and U-shaped Building to rear) to be used for the foreseeable future there is a need for them to be adapted in order to comply with current standards.

All repair will be on the basis of minimal disturbance, retention of as much original fabric as practicable and the use of traditional techniques where feasible. Best practice is to be followed at all times.

Generally, any new interventions will be clearly seen as such, adding a new layer to the patina of the building.

The materials and finishes proposed will be selected for their durability over time whilst ensuring appropriability for buildings such as these and their proposed use.

2.0 DESCRIPTION OF EXISTING BUILDING(S)

This building is ingrained within the built fabric of the area. It is adjoined on 3 No. sides by other premises. For the purposes of describing this building, the building has been divided into 2 No. parts.

The Front Building is a Protected Structure (Ref: DB-008) of Regional Importance. The 'U shaped' building to the rear is not itself a Protected Structure, and is a later addition.

The entire building is located within an Architectural Conservation Area (A.C.A No. 10 – North Quay including Back Lanes). It is also within the 'Heritage Quarter' of Drogheda as defined in the 'Urban Design Framework Plan for The Heritage Quarter, Drogheda', published in May 2013.

The Front Building contains 3 no. storeys whilst the 'U-shaped' Building is 2 no. storeys in height. There are a number of changes in level (even within the same storey) via steps and ramps as one moves through the entire building complex. The 'U-shaped' building is arranged around an external courtyard. Substantial changes have occurred to this U-shaped building in recent years. Large opes have been formed in this area creating a double storey height void in the central space with the first floor level forming a 'balcony' to this space on 3 no. sides.

The following description of the existing condition was prepared following visits to the site. A visual inspection on foot was carried out. No extensive opening up works were undertaken or ladders used. A photographic record and measured survey were undertaken.

The description of the existing buildings is to be read in conjunction Appendix No. 1 (Photographic survey of the existing building) and Appendix No. 2 (Existing Survey Drawings C519 SU01 – SU04).

2.1 EXISTING FRONT BUILDING (PROTECTED STRUCTURE REF: DB-008)

2.1.1 Existing Use

The building is currently vacant and has not been in use for a number of years. The last use of this premises was in a commercial/light industrial capacity.

2.1.2 Existing Front (West) Elevation

Setting – The building fronts onto Mayoralty Street (Figure No. 10) however it is set back from the road. There is no footpath along this side of the street. The area between the edge of the road and the front elevation of the building is occupied by car parking (provision for 8 no. cars). This parking is private, a situation which is reinforced with the use of removable bollards fixed into the ground. At the southern end, a wall (approximately 3M high projects out the edge of the road. This wall has a painted dashed rendered finish with a stone capping on the side facing the Former Branigan Weavers building and encloses a car park belonging to a neighbouring premises. To the north there is a two storey stone building. (Figure No. 11)

Walls – The front elevation is a random rubble stone wall. It is comprised of 7 no. bays wide and 3 no. storeys high (the first floor being double storey in height) with a central carriage arch at ground floor leading into a courtyard surrounded by buildings on all sides. (Figure No. 12) There is a noticeable bow to this front wall. The arch has a smooth rendered

surround and is enclosed by painted mild steel gates which open outwards (Figure No. 13). A horizontal course of eaves stones has been fitted, overhanging the outer face of the external walls. The gutter is fixed to this stone projection via a timber fascia board (Figure No. 14). The walls to the carriage arch are stone whilst the vault of the arch itself is brick. A timber noticeboard is fixed to the carriage arch wall on one side. 2 no. lantern type external lights are fitted to the carriage arch walls on either side via a plate fixing (Figure No. 15).

Gates – The steel gates are a modern addition and have been painted black. They are predominately a single solid panel. They open outwards. They are in a poor state of repair and have been defaced with painted graffiti (Figure No. 13).

Windows – There are 4 no. windows at ground floor level and 7 no. to the first and second floor (Figure No. 12) NB. There are 2 no. sets of windows to the first floor as this is double storey in height. The windows are all the same in size and the glazed pane is approximately square in shape. They are square headed with tooled limestone surrounds, keystones and sills, which we believe to be original. The windows are a modern replacement, they are UPVC double glazed, the frames of which have been painted red. They are side hung and open inwards. Metal bars have been fixed to the window opens internally at ground floor level (Figure No. 16).

Doors - There are 2 no. doors at ground floor/street level, at either end of the front elevation (Figure Nos 17 & 18). The surrounds to these doors are a smooth rendered finish, implying they are not an original feature of the elevation; if original we would assume the surrounds would be limestone to match the windows. Each door is outward opening with a panel overhead. The over-panel to the door at the northern end of the elevation has been filled in whilst the door to the southern end has a glazed over-panel. The existing doors are aluminium of a modern design and have been painted red in colour.

Signage - There is a small painted timber sign affixed over the surround of the archway entitled 'Drogheda Enterprise Centre (Figure No. 13). In addition, there are a number of small timber plaques fixed to the wall, at a height of approximately 1m from the ground identifying the parking spaces as reserved. All signage is modern.

Lighting - 2 no. modern external downlighters are affixed off this elevation (each fixed back to the wall via a pair of long brackets) positioned just under the eaves level. The downlighters are black in colour (Figure No. 19).

Structural Ties - There are 4 no. tie rods and facing plates at the level of the first floor and 6 no. tie rods and facing plates at the level of the second floor (Figure No. 19).

Rainwater Goods – There are 2 no. cast aluminium downpipes located at either end of this elevation. They are black in colour and rectangular in profile.

Other Items – There are 2 no. black metal brackets (suitable for supporting hanging baskets); 1 no. each located either side of the carriage arch. Cable trailing across the elevation at the height of the first floor.

2.1.3 Existing Rear Elevation - West Elevation to Courtyard (Figure No. 20)

Walls - The west courtyard elevation is generally a random rubble wall brought to course. Patch repairs have occurred to a number of areas and are generally a mix of red brick and concrete block which may or may not have been rendered over. A carriage arch

breaks through centrally at ground floor level. The head of this archway is a mixture of exposed red brick and rendered finish. The underside of the archway is exposed red brick.

Much of the stone course projecting at eaves level is missing. There is concrete infill at the top of the wall for a significant length at the central section of the elevation. The timber fascia board is exposed.

central section of the wall above the arch to the underside of the arch has been removed and replaced with concrete block.

Windows – There are 2 no. windows to the double storey height space at first floor level. These windows go down to floor level internally and are not original. They are sliding sash timber frames. The surrounds are a mix of brickwork and concrete block, some of which has been rendered to attempt to blend into the stonework. Above these windows are evidence of 2 no. original windows (similar in size and shape to windows on front (west) elevation. The opes to each have been blocked up with concrete blocks. The 'window' to the south still retains the original limestone sill, surrounds and keystone. The 'window' to the north; only the head, keystone and surround to one side remains.

At second floor level, there are 3 no. windows. A central sliding sash window which goes down to floor level internally and smaller windows (as per front elevation) to either side. The sills and surrounds to the side windows are original whilst the central window is surrounded by a mix of brick and concrete/render. The small windows are Perspex whilst the larger window is glazed.

Lighting – 1 no. light fitting positioned just under the eaves, fixed back to the wall via a metal plate.

Structural Ties – There is 1 no. tie rod and facing plate visible at first floor level and 4 no. tie rods and facing plates evident at 2nd floor level.

Rainwater Goods – There are 2 no. cast aluminium downpipes located at either side of the carriage archway. They are black in colour and rectangular in profile. A modern circular downpipe connects into a hopper on the downpipe to the south of the carriage arch.

Other Items – There are remnants of slates vertically hung on the elevation where it adjoins the northern wing of the U-shaped rear building.

There is extensive organic/vegetation growth at upper level of the elevation.

There is evidence of cut timbers in wall at high level.

2.1.4 Existing Side (North) Elevation (Figure No. 11)

The north elevation is gabled in form and adjoins a smaller two storey building. It is a rubble stone wall and has no openings within it. A lead flashing exists at the junction of the sloping roof abutment and this side wall. Concrete/stone verge coping caps this gable wall. There is an existing door at ground floor level opening onto Bachelors Lane.

2.1.5 Existing Side (South) Elevation (Figure No. 21)

The south elevation is gabled in form and adjoins a wall enclosing a car park to a neighbouring premises. It is a rubble stone wall and has no openings within it. Concrete/stone verge coping caps this wall. There are 2 no. rod ties and facing plates towards the eastern edge of this elevation. A small light fitting and steel rod are fixed to this wall at high level.

2.1.6 Existing Roof (Figure No. 22)

The existing roof of this building is not original. The original roof of this building was a pitched roof supported by a King Post truss roof system and rafters/purlins with a natural slate finish (of unknown origin) fixed in place via timber battens. Remnants of the original timber trusses are still evident in the external walls of the building (Figure No. 23). The roof is pitched and the original slate finish has been removed and replaced with a lightweight bituminous sheeting. Concrete/stone verge coping caps each of the 2 no. gable walls. A horizontal course of eaves stones has been fitted overhanging the outer face of the external walls. The gutter is fixed to this stone projection via a timber fascia board. The stone coping is missing along much of the rear (east elevation).

In 1992 Planning Permission (Reference No. 92510071) was granted by Drogheda Borough Council for the removal of the original roof structure/natural slate roof finish and their replacement with a lightweight timber collar beam roof (Figure No. 24). The collar beam system afforded an increased clear head height within this upper storey. This lightweight structure was intended to be finished in slate. However, it was only covered with an onduline finish, a lightweight corrugated bituminous sheet roofing system. The roof profile 'splays out' towards the eaves.

The existing roof finish is completely out of character for a Protected Structure such as this. The sheet roofing material is now failing and is not fit for purpose (Figure No. 27). The ridge is missing completely and in other locations. It is affording water ingress into the building. The front elevation is beginning to 'splay out' slightly due to inadequate structural provision.

The original timber wall plates and brick elements appear to be fairly intact to front elevation (Figure No. 25). The rear elevation is more of a mix with concrete infill to parts of the top of the existing wall (Figure No. 26).

The rainwater goods are powder coated aluminium and are not original. The gutter profile is a traditional moulded ogee. The downpipes are rectangular in profile.

2.1.7 Existing Hard Landscape

The building is set back from the edge of the road (Figure No. 12). There is no footpath to this side of the street. Double yellow lines run along the length of the front elevation. Off street parking for 8 no. cars is provided in front of the building. A concrete kerb runs along the length of the parking. The hardstanding for the parking is in tarmac. When cars are parked within these spaces they are tight up to the front elevation of the building. The external ground finish within the arched entrance at ground level and through into the central courtyard is a modern paving block. This area ramps up from street level up through the courtyard to the existing entrance at the rear of the courtyard. Modern drainage runs have been included in this paving (Figure No. 15).

2.1.8 Existing Staircases

None of the staircases in this building are original. All of the existing staircases in this Front Building are located at the northern end. NB. The floors are set back from the external wall at the southern end suggesting a staircase may have originally been in this location. A single flight pre-cast concrete stair (enclosed by external wall and a new concrete block wall) runs from the ground floor level to first floor level (Figure No. 28). There is no handrail/balustrade to this flight. A lightweight timber half landing stair connects the first floor with the second floor. This has the appearance of a temporary staircase; balustrading is missing completely to one side of the staircase flight and half landing (Figure No. 29).

2.1.9 Existing Ground Floor

The ground floor of this building comprises 2 no. separate spaces. Each has access from Mayoralty Street via a door located at each end of the elevation. In addition, each of these 2 no. spaces has direct access from the carriage archway.

Room No. 1 (Figure No. 30) – Entrance from the street is via a small lobby with staircase leading to first floor. No door in ope leading from lobby. Floor is concrete. Walls are smooth finish, painted or concrete block (painted) enclosing the staircase. 2 No. windows at high level to street with metal bars attached internally to the opes. Small space (sink) located under the stairs. Arched headed ope leads into the U-shaped building (via a small ramp to accommodate change in level). Services box on wall at high level. Entrance from under the arch is through a pair of modern inward opening timber panelled doors (with glazed panel over). This space is flush with the external level. Modern fluorescent and spot lights have been fixed by surface mounting onto the existing ceiling. Electrical switches and cabling are all surface mounted.

Room No. 5 (Figure No. 31) – Entrance from under the arch is through a pair of modern inward opening timber panelled doors (with glazed panel over) and down 2 no. steps to accommodate the change in level. 2 No. windows are located at high level within the room – they have metal bars attached internally to the opes (for protection). The floor finish is a modern tile. Walls are a mix of painted timber panels (modern) and modern tiles. The remainder of the walls have a smooth painted finish. An ope connects this space with the 'U-shaped' building to the rear. A suspended ceiling has been removed from this space. Services box on wall at high level.

2.1.10 Existing First Floor

Room No. 6 (Figure Nos 29 & 32) - This room is a double storey height space. The floor is timber boarding supported by timber joists/beams. It is currently covered with a layer of timber sheeting. There is evidence in the floorboards to the second storey above of opening for pulleys? There is also evidence to the underside of joists/beams of metal plates fixing central timber posts. Modern timber painted skirting is located around the perimeter of this room.

The walls are exposed stonework which have been painted white in areas (entire front elevation and partial painting to all other elevations). The existing timber lintels to the windows of the front elevation have also been painted out white (Figure No. 33).

There are 14 no. windows to the front elevation, positioned in 2 no. rows directly above each other. Internally the walls splay at the window opes. The windows are modern uPVC double glazed unit which open inwards. There are no sills internally (Figure No. 34).

There are 2 no. large windows to the east elevation which we don't believe are original. Internally these window opes are lined with a modern painted timber architrave (Figure No. 35).

There is 1 no. square head ope leading via 2 no. steps to Room No. 2 (Figure No. 36) and 2 no. square headed opes leading to Room No. 10 (Figure No. 37).

A temporary staircase (modern) is located at the northern end. A small enclosure under this staircase houses a sink unit. Part of this northern wall is covered with plasterboard, wrapping around the eastern wall until the ope leading to Room No. 2. Above the opes to Room Nos 2 and 10 service cables are hanging out of opes in the wall.

To the southern end the floor is stepped back from the external wall (Figure No. 38).

There is evidence internally of 3 no. original window opes. These have been infilled with modern concrete (Figure No. 33). Original timber lintels remain (Figure No. 39).

2.1.11 Existing Second Floor

Room No. 11 (Figure No. 24) - The floors are timber boards supported on timber joists/beams. The timber joists are exposed to the storey below. There is evidence of localised damage to floorboards (along central ridge line, localised area to perimeter) as a result of water ingress (due to missing roof covering). The floor boards are covered extensively with dried bird faeces. As the front elevation is bowing out there is a gap in locations between the floor boards and the external wall.

The walls are exposed stone work. The original timber lintels to the windows of the front elevation are intact. The timber wall plates/brickworks at top of wall are also all fairly intact here. Small metal ties are positioned from the top of the wall plate to the underside of the lintel (Figure No. 40). To the rear elevation there is no evidence of the original timber lintels. Much of the brickwork to the top of the wall is missing and has been replaced with concrete infill/rendered over the top of the wall.

There is evidence of the original timber trusses as remnants remain in the wall (Figure No. 23). The roof structure is a lightweight collar tie structure of modern design. The timber is exposed to the space. There are no linings, insulation etc to this roof.

2.1.12 Existing Structural Condition

The building is a stone wall construction and was originally enclosed by a slate roof supported by a series of timber king post roof trusses. Possibly at ground floor level and most probably at first floor level timber posts were present running down the middle of the spaces, supporting the weight of the floors (machinery) above. These timber posts are no longer present in the building, having been removed some time ago. In the early 1990's the original slate roof and timber king post trusses were removed (the trusses were crudely cut and evidence of their ends remain) and replaced with a lightweight timber collar roof and onduline (bituminous sheet) covering. The removal of the original roof structure and central timber posts has had an adverse effect on the structural stability of the building. There is a noticeable bow in the wall of the front elevation (maximum deflection 85mm). Remedial works to alleviate this condition were carried out with the introduction of 4 no. steel tie rods (and facing plates) at first floor level and 6 no. tie rods and facing plates at second floor level (Figure No. 19). Smaller metal ties are evident at second floor level along the lengths of the front and rear elevations (Figure No. 41).

There is evidence of some localised rot to timbers.

2.1.13 Existing Services

Room Nos 1 and 5 – Services (light switches, light fittings, electrical sockets) are provided in these locations and are surface mounted. A wall mounted services box is located in each of these rooms.

Room No. 6 – There are a substantial number of cables trailing through opes in the walls into this space from Room Nos 7 and 10. There is a surface mounted light fitting to the underside of the staircase (over the sink).

Room No. 11 – There are cables hanging in this space, however there are no light fittings, switches, sockets etc.

2.1.14 Existing Historical Features

There is evidence of a number of historical features still evident in this building as follows:

- Original timber floorboards, timber floor joists/beams (Figure No. 42)
- Timber lintels over windows (Figure No. 40)
- Timber wall plates (Figure No. 25)
- Evidence of original timber trusses (Figure No. 23)
- Evidence of timbers in north wall
- Opes to underside of floorboards (possible locations for chains/pulleys associated with machinery) (Figure No. 44)
- Evidence of original windows (now blocked up) – Rear Elevation (Fig Nos 20, 39)
- Metal plates (underside of second floor) associated with central timber posts (Figure No. 38)
- Metal feature in wall (second floor level). NB. This has been fixed into the wall via cement so may in fact not be original (Figure No. 43).

2.2 EXISTING 'U-SHAPED BUILDING, TO REAR OF SITE.

NB. There is a change in level between front building and rear U-shaped building

2.2.1 Existing Use

The building is currently vacant and has not been in use for a number of years.

2.2.2 Existing Courtyard Elevations

Northern Courtyard Elevation (Figure No. 45) – This elevation is a patchwork of random coursed rubble stonework, red brickwork and concrete blockwork, an indication that it has been amended many times over the years. At ground floor level there is 1 no. door and 2 no. windows. There is also evidence of another potential door, this ope has been blocked up with modern concrete block. The door has 3 no. glazed panels and a glazed fixed over panel. There is decorative exposed brickwork to the head of this door ope. One of the windows at ground level has exposed brick surrounds. At first floor level, there are 2 no. windows the frames of which are uPVC painted. The surrounds to these windows are modern concrete block. This concrete block wall extends up to form a parapet (along much of this elevation) to the pitched roof behind. 2 No. steel 'I' beams project from the face of this wall (by about 300mm) at approximately first floor level. There is 1 no. modern uPVC downpipe. This is black in colour and round in profile.

Eastern Courtyard Elevation (Figure No. 46) – This elevation is a recent addition and was carried out some time after 1992. (The original east elevation to the courtyard was set

back from this existing elevation). This gable wall has a coursed rubble stone finish externally. There are 3 no. door opes at ground floor level. The opes to either side are square headed and each contains an inward opening timber door of modern design with a large glazed panel. The central ope is much wider and has an arched head (stone detailing follows this arch). It contains a pair of outward opening modern timber doors with glazed panel (to match doors on either side). 2 no. timber framed fixed glazed over panels fill in the arched space above the doors. At first floor level there are 3 no. timber windows approximately square in shape. They are positioned symmetrically on this elevation. A deep simple plywood fascia tops this elevation.

Southern Courtyard Elevation (Figure No. 47a and 47b)– Like the northern elevation to the courtyard this elevation is a patchwork of random coursed rubble stonework, red brickwork and concrete blockwork. At ground floor level there are 2 no. opes (1 no. brick arch head, accessed via 2 no. steps, modern metal handrail) 1 no. modern timber and glazed door (1 no. step at threshold) and 1 no. window with red brick surrounds. At first floor level, there is only 1 no. small window. This window has brick surrounds to either side but modern concrete block overhead. There is evidence of previous opes to first floor level but these have been infilled with concrete block. A modern Black PVC half round gutter is fixed to a timber fascia board. A modern PVC downpipe connects into the rainwater goods on the rear elevation of the Front Building via a hopper. There are remnants for 2 no. timber 'beams at high level. Surface mounted onto this wall there are also an external light fitting above the door, a fire hose reel, a small sign indicating toilets and a cable tray.

2.2.3 Existing Side (North) Elevation (Figure No. 48)

This side elevation is abutted by adjoining premises on Mayoralty Street/Bachelors Lane. There is a door from Room No. 12 into a Lobby (shared by neighbouring premises) leading directly onto Bachelors Lane.

2.2.4 Existing Side (South) Elevation (Figure No. 50)

This elevation abuts a perimeter wall enclosing an external car park to a neighbouring premises. There are no openings in this elevation.

2.2.5 Existing Rear Elevation (Figure No. 49)

This elevation has an external door at ground level opening directly onto the external yard of a neighbouring premises. There is no Right of Way as far as we are aware permitting the owner of the former Branigan Weavers building to access this external space. This wall has 3 no. gables as per the roof profile and is rendered in finish. The roof profile of the southern wing of this building does not follow the dimensions of the original wall to this space. This is evident from the existing gable wall which is projects higher and at a different pitch than the existing roof.

2.2.6 Existing Roof (Figure No. 50)

The 'U-shaped' building is enclosed by 3 no. pitched roofs. NB. The pitch of the roof to the southern wing is not the height/pitch of the original roof to this area as evident from the previous gable wall which is higher and of a different pitch (Figure No. 51). The roofs are a profiled metal finish with perspex infill panels affording natural light deep within the plan of the building. Part of the northern wall to the courtyard forms a parapet to the roof over this section. Rainwater goods are modern black round in profile. There is only 1 no. downpipe attached to this building within the courtyard area. A downpipe from the southern roof connects via a hopper into the existing downpipe to the southern side of the carriage arch.

2.2.7 Existing Hard Landscape (Figure Nos 20, 46)

The area under the carriage arch through to the internal courtyard is finished with a modern paving block. A drainage channel spans the width of the arch on the internal face of the courtyard. This hard-landscaped area ramps up from street level (Mayoralty Street) through the courtyard to the principal external entrance of the 'U-shaped' building on the southern elevation of the courtyard. NB. There is a small step at the entrance to Room No. 3.

2.2.8 Existing Staircases

There are 2 no. existing staircases within this part of the building. A single flight metal staircase with balustrade/handrail of modern design leads from the rear of Room No. 3, along the northern wall up to Room No. 8 (Figure No. 52). On the southern side of the building a precast concrete stair (single flight) leads from Room No. 4 up through Room No. 10 and into Room No. 6 at the front of the building (Figure No. 53). NB. There is a void in the floor of room No. 6 at this location so this staircase does not lead directly anywhere at present. There are no handrails or balustrade to this staircase.

2.2.9 Existing Ground Floor

Room No. 2 (Figure No. 54) – This room is accessed via a ramp from Room No. 1 to negotiate the change in floor level. There is modern metal balustrading to each side of this ramp. It is also accessed directly from the courtyard area via a door in one corner of the room. 3 no. steps afford access through a square headed ope into Room No. 3. There are 2 no. windows onto the courtyard. The floor is concrete? The walls in general are painted plasterboard. The ceiling is also a plasterboard finish. Services are surface mounted and modern fluorescent strip light fittings are attached to the ceiling. There is evidence of 1 no. wall tie/wall plate and 1 no. other feature on the wall, both of which have been painted out to match the wall finish.

Room No. 3 (Figure No. 55) - This is the largest volume in the building. This room is comprised of 3 no. sections. The middle section is generally double storey in height (Figure No. 58). The areas to the north and south and to the rear (east) of the space have accommodation over. Roughly finished opes have been formed in order to create this void. There is a slight change in levels across the 3 no. spaces. The floor area of this central space has extended out into the courtyard in recent years, post 1992. There is direct access from the courtyard at ground floor level via 3 no. doors (2 no. single and 1 no. pair of double doors). Internally the wall to the courtyard is fair faced concrete blockwork, painted white. There are 3 no. windows at high level to the courtyard. This room can be accessed internally through Room Nos 2 and 4 (steps from Room No. 2) (Figure No. 56). It affords access to Room No. 12. There is an inward opening door leading to a courtyard to the rear (east). This courtyard is not part of these premises and no Right of Way exists. There is a small lift/dumb waiter enclosure alongside this door. The floors are concrete. The space is open to the profile of the roof. The northern wing (under Room No. 8) (Figure No. 57) has painted plasterboard walls and ceilings. The edge of the balcony over is supported by 2 no. columns which have been boxed out. The walls in the central area are exposed stone, painted white. The walls in the southern wing (under Room No. 9) are painted out white. Columns support the edge of the balcony to Room No. 9 overhead. There are also a number of additional temporary structural props in this space (Figure No. 59).

Room No. 4 (Figure No. 60)- There is direct access into this room from Room No. 3, from the courtyard via an arched headed ope (2 no. steps) and from Room No. 5 (at present there is a significant change in level between these 2 no. spaces). There is an additional 1 no.

large ope and 1 no. small window onto the courtyard. The floor is concrete and the walls are stone, most of which had been painted out white (with the exception of the southern wall). There is no ceiling, the timber floor joists are exposed. A single flight of pre-cast concrete stairs (no handrail/balustrade) leads to the first floor level. The underside of these stairs is enclosed in fair faced concrete block, painted. A square headed ope provides access to under the staircase for storage.

Room No. 12 (Figure No. 61) - This room is accessed directly from the rear of Room No. 3. There is a door at the far end of this room leading into a lobby (shared with adjoining premises) leading directly onto Bachelors Lane. There are no window opes in this room. The floor is concrete and the walls are fair faced concrete block, painted.

2.2.10 Existing First Floor

Room No. 7 (Figure No. 62) - This room is accessed through square headed opes from Room No. 6 by ascending 2 no. steps and from Room No 8 by descending 1 no. step. There are 2 no. windows looking onto the courtyard area. The floor finish is timber sheeting. The walls are painted plasterboard, as is the ceiling. Plasterboard is missing to one corner of the room exposing the existing stone wall and timbers above the ceiling. There are surface mounted modern fluorescent light fittings attached to the ceiling.

Room No. 8 (Figure Nos. 63 & 64) - This room wraps around the double storey void of Room No. 3 to the north and east. A single flight staircase provides access to this space from Room No. 3 below. A roughly finished ope has been created in the south wall of this space opening it up to the void of Room No. 3. A temporary timber balustrade aligns the edge of this void. The floor is supported on steel beams and is finished in timber sheeting. In the northern wing the walls and ceiling are painted plasterboard. There is a small enclosure in this space (Figure No. 65). In the central area, the walls are fair faced concrete block, painted. The concrete ring beam extends into this space and is also painted. There are coloured glass blocks at high level in the eastern wall of this space. Modern fluorescent light fittings are suspended from the roof, fitted into modern timber tracks. There is a small dumb waiter to the rear of this space. The wall adjoining Room No. 9 has a brick headed arch which has been infilled with concrete block and all painted out white including concrete ring beam over). There are remnants of timbers in this wall, again, painted out white (Figure No. 66).

Room No. 9 (Figure No. 67) - There is no access into Room No. 8 at present. Access to Room No. 10 is by descending 4 no. steps (Figure No. 71). A roughly finished ope has been created in the north wall of this space, opening it up to the void of Room No. 3 (Figure No. 68). A temporary timber balustrade aligns the edge of this void. The floor finish is timber sheeting. The walls are generally exposed stonework. The western wall is a mix of stone/brickwork (Modern addition?) with concrete block over (Figure No. 70). A concrete ring beam runs around the perimeter of this space, capping the wall. The roof is pitched and is exposed to the space, there is no ceiling. The steel structure is exposed and is covered with a profiled metal system. Integrated Perspex panels bring light deep within the plan. All servicing is exposed. In the north west corner of this room there is evidence of an original timber lintel with exposed brickwork to the side of an ope (Figure No. 72). This ope has been infilled with concrete block. The northern wall contains exposed red brickwork. There is also evidence of an original ope in this wall (adjoining Room No. 8) with timber lintel over and an arched headed ope. Again, these opes have been infilled with concrete block (Figure No. 73). There is evidence of a timber lintel in the eastern wall (Figure No. 69).

Room No. 10 (Figure No. 74) - This room is accessed from Room No. 9 by descending 4 no. steps. There are 2 no. opes leading through to Room No. 6. A flight of stairs leads from Room No. 4 up to one of these opes but there is a void in the floor of Room No. 6 at this location so access is not possible at this point. There is 1 no. window onto the courtyard area. The floor is timber sheeting. The walls are exposed stonework. There is a small cupboard built in along one of the walls.

2.2.11 Existing Structural Condition

From a visual inspection, this building is generally structurally sound. Temporary structural props are located within Room No. 3 so some structural upgrading works may be required.

2.2.12 Existing Services

There are modern services (light fittings, electrical switches etc) within this building. There is no existing heating provision.

2.2.13 Existing Historical Features

Whilst much of the fabric of this U-shaped building is modern there are a number of areas where original fabric remains. This fabric mainly takes the form of stonework/ historical brickwork and in many areas has been painted out white.

3.0 DESCRIPTION OF PROPOSED WORKS

The description of the proposed works is to be read in conjunction Appendix No. 3 (Proposed Drawings C519 PP01 – PP07,).

Proposed Works as included in the Change of Use Planning Application – Proposed Hostel (June 2019) are described in 'black text'.

A description of the proposed works which were sought (Planning Application Ref No: 17823) and previously granted (22 no. conditions attached to the Grant of Permission) are noted in '*blue italix text*'. Any changes to these previously granted proposals are also included in the 'black text' as proposed works (June 2019 application).

3.1 FRONT BUILDING PROPOSALS PROTECTED STRUCTURE REF: DB-008

3.1.1 PROPOSED USE

It is proposed to change the use of these premises.

The 'Urban Design Framework Plan for The Heritage Quarter, Drogheda, (published May 2013), Section 6.3.1 states "opportunities to provide uses which can enhance and support the Heritage Quarter as the civic, cultural, commercial and retail heart of Drogheda should be encouraged". In particular uses which can animate the riverside, paved and green spaces identified in Maps 5.3, 5.4 and 5. 7".

As stated previously, this building complex is located within the designated Heritage Quarter of Drogheda. The proposed new use will be as a bar/lounge/restaurant with all associated ancillary requirements; a use which is encouraged in the aforementioned report.

The site to which this application relates is located just off 'The Mall' a space identified in the maps, outlined above. The potential exists for this project to act as a catalyst for Mayoralty Street and to become an extension of 'The Mall'.

It is proposed to change the use of this premises. The proposed new use will be as a hostel and will include accommodation, private commercial kitchen, dining/lounge areas along with all associated ancillary requirements and site works. The accommodation in this Front Building will include a mix of 1 no. bed apartments (2 no.) and dormitories (8 no. four bed dormitories and 2 no. six bed dormitories) with en-suite facilities.

3.1.2 PROPOSED FRONT WEST ELEVATION

Setting

It is proposed to remove the existing car parking provision/removable bollards and replace the existing hard landscape (concrete) with new materials (of a high quality) such as stone paving/new high-quality concrete. This street area is to be used as an external seating area, creating an active and vibrant public realm.

The 8 no. car parking spaces/removable bollards to the street are to remain as existing. No new hard landscaping is proposed to the street front.

Walls

Remedial works are required to prevent further bowing of this external wall. The existing tie rods are to be tightened using male/female turnbuckle.

Gates

The existing painted mild steel gates (modern addition) are to be removed and replaced with new solid timber gates (opening outwards).

Windows

The existing windows are to be retained. It is proposed to seek retention permission for these existing windows as part of this application. The metal bars fitted to the window opes internally at ground floor are to be removed.

Doors

The 2 no. modern doors at ground floor level are to be replaced with hardwood timber doors. In order to facilitate means of escape for the proposed occupancy of this scheme the existing door opes will have to increase in width as shown on the drawings. As the surrounds of the existing doors are a smooth rendered finish, not limestone we do not believe these are original. The symmetry and balance of the existing elevation will be maintained following the increase in door ope width. The surround to the revised door opes will be a smooth plaster finish, with details to match existing.

It is not proposed to increase the width of the 2 no. existing door opes.

Signage

All existing signage (modern addition) is to be removed. Proposed new timber signage of a modern design is to be fixed to this elevation as shown on the drawings.

Lighting

The 2 no. existing modern downlighters are to be retained and upgraded as necessary.

Structural Ties

All existing tie rods and facing plates are to be retained. At this stage, no further tie rods/facing plates are envisaged. The existing tie rods are to be tightened using male/female turnbuckle. This action in conjunction with a proposed new roof structure will aim to halt the outward thrust of the external wall.

Rainwater Goods

The existing rainwater goods are to be replaced where necessary following detailed inspection with new cast aluminium, profile and colour to match existing.

Flag Poles

It is proposed to attach 3 no. new flagpoles to this elevation. This addition will have minimal impact on the existing fabric and will be fixed in place via wall plates.

It is not proposed to include new flagpoles in the Change of Use application as permission was not previously granted for these items.

Other Items

The 2 no. existing black metal brackets (recent addition) suitable for hanging baskets are to be removed and wall made good as necessary following removal.

3.1.3 PROPOSED REAR (WESTERN COURTYARD) ELEVATION

Walls

No significant works are proposed for this wall except in relation to the windows (see paragraph below).

2 no. new window opes with limestone sill are proposed at ground floor level on either side of the archway, aligning vertically with the windows over.

1 no. window (first floor, lower level) to be removed, ope increased as necessary to accommodate new door affording access to new enclosed glazed gallery at first floor level (along south elevation of courtyard).

Windows

The 2 no. existing sills (first floor, lower level) are to be retained and new select colour hardwood/PVC triple glazed windows are to be installed. There are no works proposed to the surrounds of these windows.

The 2 no. window opes which are blocked up (first floor - upper level) are to be reinstated. New select colour hardwood/PVC triple glazed windows are to be installed. A new limestone sill and surround to one side is to be tooled in to match existing window surrounds. The wall is to be made good as required following this work.

3 no. new select colour hardwood/PVC triple glazed windows are to be installed at second floor level. The new windows are to be fitted into the existing opes.

2 no. new hardwood timber triple glazed casement windows are to be fitted to proposed new opes at ground floor level.

1 no. new select colour hardwood triple glazed replacement window to be installed at first floor, lower level.

New windows at first floor – upper level (2 no.) to be hardwood timber, triple glazed.

New windows at second floor (3 no.) to be hardwood timber, triple glazed.

Lighting

The existing external downlighter is to be replaced with a new modern down light fitting.

Structural Ties

All existing tie rods and facing plates are to be retained. At this stage, no further tie rods/facing plates are envisaged. The existing tie rods are to be tightened using male/female turnbuckle. This action in conjunction with a proposed new roof structure will aim to halt the outward thrust of the external wall.

Rainwater Goods

The existing rainwater goods are to be replaced where necessary following detailed inspection with new cast aluminium, profile and colour to match existing.

The existing rainwater goods are to be replaced where necessary following detailed inspection with new cast iron or aluminium. Any existing PVC rainwater goods will be replaced with cast iron or cast aluminium.

Other Items

The slate remnants which are hung vertically on the elevation where it adjoins the northern wing of the U-shaped building are to be retained.

The existing organic/vegetation growth is to be carefully removed.

The cut timbers which are visible in the wall at high level are to be retained.

3.1.4 PROPOSED SIDE NORTH ELEVATION

No works are proposed to this elevation.

3.1.5 PROPOSED SIDE SOUTH ELEVATION

No works are proposed to this elevation.

3.1.6 PROPOSED ROOF

As noted previously, the existing roof is both not fit for purpose and is not aesthetically appropriate for this Protected Structure and is impacting negatively on both the building itself and the wider Architectural Conservation Area in which it is situated.

It is proposed to:

- Remove and replace the existing roof finish with natural slate (original roof finish);*
- Remove and replace the existing roof structure in order to support a natural slate finish as the existing roof is not structurally capable of supporting the additional load generated by slates;*
- Restore/replace the rainwater goods to match existing (as necessary following detailed inspection).*

The objective is to maintain the pitch of the existing roof whilst introducing trusses (6 no. along the length of the building) to halt the outward thrust on the external walls. The trusses will be in the form of light steel members and will be visually obvious as a modern insertion whilst referencing the original truss roof arrangement. The trusses will support purlins which in turn will support roof rafters and new natural slate finish. The trusses will be designed to carry the full weight of the proposed new roof finish. The available head height will be constricted at the location of the trusses due to the existing (original) wall plate height.

It is the intention to retain the existing timber wall plates and the remnants of the original timber trusses in order to avoid any further loss of original fabric. The new trusses will be positioned alongside the remnants of the existing wall plates. All existing timbers are to be treated with preservative.

The existing verge coping to cap the existing gable walls is to be retained/replaced as necessary.

It is proposed to replace where necessary (to match existing) the missing eaves stone.

All rainwater goods are to be repaired/replaced where necessary in powder coated cast aluminium, new goods to match existing profiles and colour.

An AOV roof light (1m2 clear ope) is to be positioned in the roof above the new stairwell. It is proposed to locate this on the rear pitch of the building to minimise it's impact visually. A 'conservation type' AOV roof light is proposed to further minimise the visual impact.

In our opinion the proposed roof will be aesthetically appropriate for a Protected Structure such as this and greatly enhance the wider ACA in which it is situated. It will also stop water ingress into the building and prevent further damage occurring to the overall built fabric.

3.1.7 PROPOSED HARD LANDSCAPE

It is proposed to replace both the existing modern hard landscape to the forecourt of the building and within the courtyard. The new hard landscaping will be a high quality material such as stone paving/high quality concrete. It is intended this new hard landscaping will unify the external spaces of the scheme, encouraging use of the public realm.

It is proposed to replace the existing modern hard landscape under the archway and within the courtyard. The new hard landscaping will be a high quality material such as stone paving/high quality concrete. It is intended this new hard landscaping will unify the external spaces of the scheme.

3.1.8 PROPOSED STAIRCASES

The existing single flight pre-cast concrete stair running from ground to first floor level is to be retained. A new staircase is to be inserted (at the location of the existing temporary staircases) affording access to the upper levels of this front building. To afford safe means of escape in the event of a fire these staircases are enclosed throughout the height of the building. These staircases will be designed as a modern insertion and are to be enclosed with stud/glazed screen walls.

To accommodate the changes in level between this front building and the U-shaped building to the rear localised short flights of steps are to be introduced at ground and first floor levels.

NB. Gypsum independent wall lining system to be used as necessary in the renovation of the existing Front Building.

In the proposed hostel scheme, there is no connection at ground floor level internally between the proposed accommodation in the 'Front Building' (Protected Structure) and the U-shaped building to the rear. To accommodate changes in level at First Floor between the buildings localised short flight of steps are to be introduced; including within the proposed new enclosed external gallery.

Where linings/insulation of the existing stone walls of the Protected Structure (Front Building) are required they are to be breathable.

3.1.9 PROPOSED GROUND FLOOR

Room No. 1

It is proposed to use this area for storage and kitchen preparation. The 2 no. existing windows are to be retained. The existing external door (Front Elevation) is to be removed and the ope made wider. A new hardwood external door is to be installed into this wider ope. The existing finishes are modern. A number of new partition walls are to be constructed to subdivide this space. New floor/wall/ceiling linings are to be installed as required by the function of each space. The existing double doors (modern) under the carriage arch are to be replaced with solid hardwood doors.

It is proposed to use this area as a 1 no. bedroom self-catering apartment unit. A new ope is to be formed in the rear (east; western courtyard) elevation and hardwood triple glazed window installed to the proposed bedroom. The existing ope between Room No. 1 and Room No. 2 (Refer to Drwg No. C519 – SU02) is to be blocked up. A new suspended ceiling is to be fitted within this space to accommodate a service void facilitating the proposed accommodation at First Floor Level.

Room No. 5

It is proposed to use this area as a Bar. The 2 no. existing windows are to be retained. The existing external door (Front Elevation) is to be removed and the ope made wider. A new external door is to be installed into this wider ope. The existing double doors (modern) under the carriage arch are to be replaced with new hardwood doors. 1 no. short flight of steps is to be introduced to accommodate changes in level between this front building and the u-shaped building.

It is proposed to use this area as a 1 no. bedroom self-catering apartment unit. A new ope is to be formed in the rear (east; western courtyard) elevation and hardwood triple glazed window installed to the proposed bedroom. The existing ope between Room No. 4 and Room No. 5 (Refer to Drwg No. C519 – SU02) is to be blocked up. A new suspended ceiling is to be fitted within this space to accommodate a service void facilitating the proposed accommodation at First Floor Level.

3.1.10 PROPOSED FIRST FLOOR

Room No. 6

It is proposed to use this space as a Late Bar. It will remain as a double storey height space with the proposed staircase enclosure at the northern end of the room. The floor is missing at the southern end of this room. A new floor is to be installed. Upgrading works to existing surfaces will be required to comply with Part B (Fire) of the Building Regulations. Refer to separate paragraph 3.1.14 below. A dumb waiter is to be installed facilitating the movement of food from the kitchen at ground floor level. 2 no. short flights of steps are to be inserted to accommodate change in level between this space and the u-shaped building. These flights of steps will read as a modern insertion.

Overall the space will remain as existing. It will be enhanced by reopening 2 no. windows at upper level to the rear (courtyard elevation) of this space; the existing timber lintels of which are visible internally. Stone walls to be left exposed and/or painted.

It is proposed to use this space as dormitory accommodation complete with en-suite facilities. This use will require the subdivision of the space to create 5 no. dormitories (4 no. 4 bed and 1 no. 6 bed). A new corridor will connect these rooms and link directly into self catering apartments to the rear. An existing window ope to the rear of this space will be remodelled to form a door providing access to an enclosed gallery space and facilitating access to the rear U-shaped part of the Building. It will remain as a double storey height space with the proposed staircase enclosure at the northern end of the room. The ceiling height is to be lowered within this space, forming a void servicing the proposed accommodation on the second floor – this reduced ceiling will not impact physically on the existing windows to Mayoralty Street. The existing floor will be upgraded as required in terms of structure, fire compartmentation and acoustic separation.

All works will clearly read as a modern insertion into the space. They will be capable of removal and reversal to allow the space to revert as a single a large double storey volume in the future (if required). NB. There is evidence that the height of the space was previously reduced as the walls are not painted full height (Refer to Figure No. 33). This may suggest a suspended ceiling was introduced to lower the height of this volume, potentially for acoustic/heating advantage. The two levels of windows to Mayoralty Street remained open to the internal space at this stage.

3.1.11 PROPOSED SECOND FLOOR

Room No. 11

It is proposed to use this space for storage. The 3 no. existing windows to the rear are to be replaced. The existing timber floor boards are to be cleaned of all animal excrement and made good in localised areas where water ingress has caused damage. New flooring is to be inserted at the southern end (where missing). Upgrading works as necessary to achieve compliance with Part B (Fire) of the Building Regulations are to be undertaken (see paragraph 3.1.14 below). The proposed new roof will read as a modern insertion whilst retaining as much of the original fabric as practicable. The new staircase and associated enclosure will also read as a new insertion within this space.

It is proposed to use this space as dormitory accommodation complete with en-suite facilities. This use will require the subdivision of the space to create 5 no. dormitories (4 no. 4 bed and 1 no. 6 bed). A new corridor will connect these rooms. The existing floor will be upgraded as required in terms of structure, fire compartmentation and acoustic separation.

3.1.12 PROPOSED STRUCTURAL WORKS

All existing tie rods and facing plates are to be retained. At this stage, no further tie rods/facing plates are envisaged. The existing tie rods are to be tightened using male/female turnbuckle. This action in conjunction with a proposed new roof structure will aim to halt the outward thrust of the external wall.

Localised rot to timber to be treated using best practice methods.

Structural upgrading of the floors/infilling of existing floor opes as required for the proposed use.

3.1.13 HISTORICAL FEATURES

- *Original timber floorboards, timber floor joists/beams (Figure No. 42) – to be retained and upgraded as required in order to comply with Part B: Fire of the Building Regulations (see paragraph 3.1.14 below).*
- *Timber lintels over windows (Figure No. 40) - to be retained.*
- *Timber wall plates (Figure No. 25) – to be retained in so far as practicable.*
- *Evidence of original timber trusses (Figure No. 23) – to be retained.*
- *Evidence of timbers in north wall - to be retained.*
- *Opes to underside of floorboards (possible locations for chains/pulleys associated with machinery) (Figure No. 44) These will most likely have to be covered over (refer to paragraph 3.1.14 below).*
- *Evidence of original windows (now blocked up) – Rear Elevation (Fig Nos 20, 39) – It is proposed to reinstate these 2 no. windows in original locations.*
- *Metal plates (underside of second floor) associated with central timber posts (Figure No. 38) – to be retained, upgrading works for Fire may be required.*
- *Metal feature in wall (second floor level), NB. This has been fixed into the wall via cement so may in fact not be original (Figure No. 43 – to be retained?)*
- *Opes to underside of floorboards (possible locations for chains/pulleys associated with machinery) (Figure No. 44). These will be retained however they will be screened over by proposed suspended ceiling providing a 'service void'.*
- *Metal plates (underside of second floor) associated with central timber posts (Figure No. 38). These will be retained however they will be screened over by proposed suspended ceiling providing a 'service void'*

3.1.14 BUILDING REGULATIONS PART B: FIRE

The proposed use of the building as a bar/ restaurant will entail upgrading works to the protected structure. Consideration will be given to minimise any damage to the existing historic fabric of the building. The existing stone walls and timber floors are protected and it is proposed to limit any alterations to these. We would propose that the existing stone walls will provide adequate fire protection to the perimeter of the building and along the main escape route through the existing archway. Any openings in the existing walls will be fire-stopped by means of in-filling with stone and lime mortar. Ducting or services passing through these walls will be fitted with a suitable fire damper/ sleeve.

The existing timber floor and floor joists are to be retained and repaired as required. The existing timber flooring is 75 x 210mm planks and the floor joists are 270 x 130mm timber beams. The proposed method for upgrading the fire resistance of the timber floors is to insert fire resistant plasterboard to the underside of the timber flooring between the timber joists.

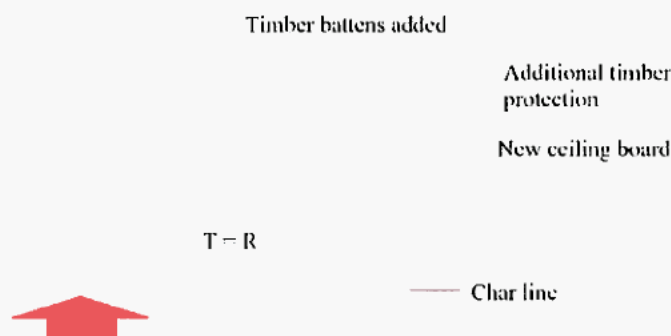


Diagram of proposed upgrading of existing timber floors

To minimise disturbance to the existing timber floors it is proposed to create a new ceiling level below enclosing a 'service void'. This will also accommodate the necessary fire compartmentation and acoustic separation requirements for the proposed use. Additional works as required to comply with appropriate Fire Regulations for this class of building are also to be carried out.

3.1.15 BUILDING REGULATIONS PART L: ENERGY CONSERVATION

The existing building is a protected structure and exempt from the requirements of Part L of the Building Regulations under SI. 243: 2012 article 4. Where substantially new construction is proposed consideration of/to the guidance set out in Part L will be implemented.

3.1.16 BUILDING REGULATIONS PART M: ACCESS AND USE

The proposals will afford universal access to the entire ground floor of the premises, where both bar and restaurant facilities are provided. A new lift will afford access to the first floor mezzanine (U-shaped building to rear) by wheelchair users. Disabled WC facilities are provided at ground and first floor level.

The first and second floor levels of the front building which is a Protected Structure has restricted access. New internal steps will be provided suitable for ambulant disabled access with no wheelchair access provide to this area. All services and facilities are

available on the ground and first floor mezzanine that is accessible by people in wheelchairs.

There is no proposed access to this Front Protected Structure Building for wheelchair users. NB. All services and facilities that can be accessible by people in wheelchairs are available are available on the ground and first floor mezzanine of the U-shaped Building to the rear.

3.2 'U-SHAPED BUILDING, TO REAR OF SITE - PROPOSALS

3.2.1 PROPOSED USE

It is proposed to change the use of this premises. The proposed new use will be as a bar/lounge/restaurant with all associated ancillary requirements.

It is proposed to change the use of this premises. The proposed new use will be as a hostel and will include accommodation, private commercial kitchen, dining/lounge areas along with all associated ancillary requirements and site works. The accommodation in this 'U-shaped' building will include a mix of 4 no. one bed apartments.; 6 no. twin rooms; 3 no. double rooms and 1 no. accessible twin room. All double/twin rooms (including accessible twin room) have en-suite facilities.

3.2.2 PROPOSED COURTYARD ELEVATIONS

Northern Courtyard Elevation

It is intended to replace the existing door at ground level with a new select colour hardwood/PVC triple glazed window and fill in the ope below. 1 no. window at ground level is to be removed and the ope enlarged to accommodate a new hardwood door. In order to unify the courtyard elevations and their existing patchwork arrangement, it is proposed to limewash the walls. New external lighting of a modern design is to be installed.

All opes are to remain as existing. Where windows and doors are to be replaced, they are proposed to be in hardwood timber.

Eastern Courtyard Elevation

It is proposed to seek permission for the retention of this elevation (built sometime after 1992). All existing opes, windows and doors are to be retained/replaced as necessary. It is proposed to 'limewash' this wall to unify the space within the courtyard. New external lighting of a modern design is to be installed.

Where windows and doors are to be replaced, they are proposed to be in hardwood timber.

Southern Courtyard Elevation

It is proposed to make the most significant changes within the courtyard to this elevation. The existing arched headed ope is to be blocked up, however the arched head itself is to be retained. The other door at ground level is to be partially blocked up and a triple glazed window inserted. A large ope is to be created, double storey in height, requiring the removal of 2 no. existing windows and part of this existing wall. A glazed screen system incorporating a door is to be inserted into this ope. This intervention will read very clearly as a modern insertion. As outlined above, it is proposed to limewash the remainder of this wall in order to unify the patchwork arrangement of the courtyard walls. New external lighting of a modern design is to be installed.

It is proposed to make the most significant changes within the courtyard to this elevation. Where windows and doors are to be replaced, they are proposed to be in hardwood timber. At ground floor level the following is proposed:

- Existing arch head door ope to be partially blocked up and window installed.
- Existing large ope to be partially blocked up and new door inserted.
- New window to be installed in existing door ope.

At first floor level the following is proposed:

- Break through new ope and install door providing access to rear of U-shaped building from Front building via a stepped enclosed Gallery space. This proposed gallery will be in lightweight construction and clearly read as a modern addition to the courtyard elevation. Proposed materials will be zinc, timber and glazing.

Western Courtyard Elevation

Refer to Item 3.1.3 above. Please note, it is not intended to limewash the finish to the western courtyard elevation as this is also the rear elevation of the Protected Structure.

Refer to Item 3.1.3 above.

3.2.3 PROPOSED SIDE (NORTH) ELEVATION

No works are proposed to this elevation.

3.2.4 PROPOSED SIDE (SOUTH) ELEVATION

No works are proposed to this elevation.

3.2.5 PROPOSED REAR (EAST) ELEVATION

It is proposed to block up and make good 1 no. existing door ope to external yard of an adjoining premises.

The existing door and ope is to remain. It is not proposed to block up this ope.

3.2.6 PROPOSED ROOF

It is proposed to seek retention permission for the existing modern roof profiles and finishes. New AOV roof lights are proposed to bring further light deep into the plan of the building as shown on the drawings and in accordance with Building Regulations Part B: Fire.

It is proposed to seek permission for 13 no. new rooflights. 1 no. rooflight is proposed for each twin/double bedroom with an additional rooflight proposed in front of the lift. Suspended ceilings are to be installed over bedroom area whilst it is proposed that circulation areas will retain the 'vaulted' ceiling. Thermal upgrading of the existing roof as necessary is proposed.

3.2.7 PROPOSED HARD LANDSCAPE

It is proposed to replace both the existing hard landscape to the forecourt of the building and within the courtyard. The new hard landscaping will be a high quality material such as stone paving/high quality concrete. It will gently ramp up from street level to the entrance within the courtyard area affording universal accessibility. It is intended it will unify the external spaces of the scheme, encouraging use of the public realm.

It is proposed to replace both the existing hard landscape with the courtyard only.

3.2.8 PROPOSED STAIRCASES

The 2 no. existing staircases (modern additions) within this building are to be removed. The proposals involve the insertion of 4 no. new staircases within this U-shaped building. 2 no. staircases are to be open within the double storey height void space whilst the other 2 no. are at either side of the building and are enclosed (for means of escape in the event of a fire). All new staircases are to read as a modern insertion within these spaces.

In addition, there are a number of short flights of steps and small ramps inserted to accommodate changes in level between the Front Building and the U-shaped Building and changes in level throughout the U-shaped building at ground floor level.

NB. Gypsum independent wall lining system to be used as necessary in the renovation of the existing U-shaped Building.

The proposals involve the insertion of 1 no. new staircase within this U-shaped building within the double storey height space. It will read as a modern insertion within this space.

In addition, there is a short flight of steps and small ramp inserted to accommodate changes in level throughout the U-shaped building at ground floor level. A lift will provide wheelchair access to the first floor of the u-shaped building.

3.2.9 PROPOSED GROUND FLOOR

Room No. 2

It is proposed to raise the floor area within this space. The proposed use is as a commercial kitchen. The existing external door is to be removed, open blocked up as necessary and a new select colour hardwood/PVC triple glazed window inserted. The existing window is to be removed, open increased and a new external door inserted at this location. The existing finishes are modern. New floor/wall/ceiling linings are to be installed as required by the function of this space.

It is not proposed to raise the floor area within this general space. The proposed use is as a 1 no. bed self-catering apartment, accessed directly from the courtyard space. The bedroom/bathroom for this unit is accessed via a short flight of steps.

Room No. 3

It is proposed to seek permission for the retention of the additional floor area (post 1992) created by extending the space out into the courtyard and enclosing with a new stone wall. This area will be the main focal point and principal point of access for the proposed new bar/restaurant. It creates a strong axis back to the street. Visitors are drawn in from the street, through the carriage archway, into the courtyard and then directly into the double storey height space. A large bar is located centrally in this space with WC provision tucked in behind. Additional WC provision is provided elsewhere within this space. The existing dumb waiter is to be removed. To the north and south of this space the accommodation overhead at first floor level will follow the line of the current floor. To the rear (east) the existing balcony will be cut back increasing the volume of the double storey height space. 2 no. new staircases open to this large void provide access to the accommodation overhead to each side. An additional enclosed staircase is also included. Changes in floor level across the space are accommodated with the introduction of short ramps. Existing stone walls are to remain exposed and or painted. New floor/wall/ceiling linings are to be installed as required by the function of this space where necessary.

It is proposed to locate all of the communal facilities associated with the hostel within this space – dining/common area/chill out area/reception/laundry/kitchen/WC provision. A new staircase within this U-shaped building within the double storey height space affords access to the first floor as does a proposed lift. They will read as a modern insertion within this space.

In addition, there is a short flight of steps and small ramp inserted to accommodate changes in level throughout the U-shaped building at ground floor level.

Accommodation associated with the self-catering apartments to either side of the courtyard at ground floor level are also accommodated within this space.

Room No. 4

It is proposed to use this space as a circulation zone. The existing concrete staircase is to be removed and a new staircase inserted. A large ope is to be created, double storey in height (existing window at ground floor level is to be removed). A glazed screen system including door is to be inserted into this ope. The existing arched headed ope is to be blocked up, however the arched head itself is to be retained externally. The floor is to be 'cut back' creating a double storey height void which addresses the proposed large glazed ope in the external wall to the courtyard. The exposed stone walls are to be retained and remain exposed and or painted.

It is proposed to use this space as a self-catering apartment unit, accessed directly from the courtyard. The existing concrete staircase within this space is to be removed. The existing arch head door ope is to be partially blocked up and a window installed. The large existing ope to the courtyard is to be partially blocked up and new door inserted. A new window is to be installed into the existing door ope (to facilitate the proposed bedroom).

Room No. 12

This space will provide a means of escape in the event of an emergency. The existing door from room No. 3 is to be removed. It is proposed to install a new set of double doors/screen within this space, forming a lobby for the means of escape.

This space will be used as a proposed Plant Room.

3.2.10 PROPOSED FIRST FLOOR

Room No. 7

It is proposed to raise the floor level within this space and install unisex toilet cubicles. The 2 no. existing window opes are to be retained as is.

The level within this room is to stay as existing. This room is to form part of a self-catering apartment unit which is accessed via a stepped approach from the new proposed corridor within the Front Building.

Room No. 8

The existing single flight staircase is to be removed and replaced with a new modern staircase within a modern enclosure. The roughly finished ope which opens the space to the double storey void is to be made good. Structural upgrading works to floor as necessary are to be undertaken and a new balustrade to the edge of this balcony installed. A new staircase will provide direct access to this area from the floor below. The existing stone walls and evidence of 'original' fabric is to be retained. The existing balcony

to the rear (east) is to be cut back. The existing dumb waiter and its enclosure are to be removed. A new door/lobby is to be created affording access to unsex toilet area. A new ope is to be formed facilitating access between this room and the adjacent Room No. 9. New floor/wall/ceiling linings are to be installed as required by the function of this space.

The proposed use of this space is as hostel accommodation – double/twin rooms and lift affording access to an accessible bedroom. The depth of the existing mezzanine area is to be extended to accommodate 3 no. double rooms. The double height space is to be reduced in area and enclosed by a new screen wall. Suspended ceilings are proposed within the bedroom areas, circulation spaces will remain vaulted. The existing single flight staircase is to be removed and replaced with a new modern staircase. Rooflights are to be installed, 1 no. to each bedroom and an additional rooflight to the landing space in front of the lift.

Room No. 9

As outlined above, a new ope facilitating access between Room No. 8 and Room No. 9 is to be created. The exiting short flight of stairs accessing Room No. 10 is to be removed. Access to Room No. 10 is to be flush as a new floor is to be installed in Room No. 10. A lift is to be installed in the south western corner of this room. The roughly finished ope which opens the space to the double storey void is to be made good. Structural upgrading works to the floor as necessary are to be undertaken and a new balustrade to the edge of this balcony installed. A new staircase will provide direct access to this area from the floor below. The existing stone walls and evidence of 'original' fabric is to be retained. New floor/wall/ceiling linings are to be installed as required by the function of this space.

A new ope is to be formed in the wall to the courtyard affording access to the proposed new enclosed gallery space. This space is to be used as hostel accommodation – double/twin rooms. A new screen enclosure to the edge of the mezzanine is to be installed. Suspended ceilings are proposed for the bedroom areas with rooflights installed in each bedroom. The height of circulation areas will be greater and they will have 'vaulted roofs'.

Room No. 10

It is proposed to use this space as a circulation zone. The existing concrete staircase is to be removed and a new staircase inserted. A large ope is to be created, double storey in height (existing small window at first floor level is to be removed). A glazed screen system is to be inserted into this ope. A new floor is to be installed and is to be 'cut back' creating a double storey height void which addresses the proposed large glazed ope in the external wall to the courtyard. New internal doors are to be inserted into existing opes leading to Room No. 9 and Room No. 6. The exposed stone walls are to be retained and left exposed/painted out internally.

This space is to form part of a proposed self-catering apartment unit accessed directly from the 'Front' Building. The existing concrete staircase is to be removed. The small flight of steps from Room No. 10 to Room No. 09 is to be removed to facilitate inclusion of a bedroom to the self-catering apartment unit at the same level.

3.2.11 PROPOSED STRUCTURAL WORKS

There are a number of temporary structural props supporting the first floor where it has been cut back to achieve a double storey height void. New structural elements as

necessary are to be installed to support this floor and facilitate the removal of the temporary props.

Proposed structural works as required by the proposed design.

3.2.12 HISTORICAL FEATURES

Whilst much of the fabric of this U-shaped building is modern there are a number of areas where original fabric remains. This fabric mainly takes the form of stonework/ historical brickwork and in many areas, this has been painted out white. It is proposed to retain as much of this fabric as practicable.

3.2.13 BUILDING REGULATIONS PART B: FIRE

A fire curtain is to be installed along the perimeter of the mezzanine to seal the void over ground floor, the fire curtain will be connected to the fire alarm and lowered in the event of the alarm sounding. The balcony to the rear (east) at first floor level is to have a 60min fire resistant screen wall built up to the underside of the roof and fire-stopped. The floor between ground and first floor levels will be upgraded to provide 60minute fire separation by fixing a new plasterboard ceiling to the underside of the timber joists. The partition walls surrounding the stairway will achieve 30 minute fire rating by constructing of metal studs with 12.5mm plasterboard on each side in accordance with Gypsum Industry specifications and fire stopped at the junction with the roof.

The mezzanine is to be enclosed from the double height void. Works as required to comply with appropriate Fire Regulations for this class of building are to be carried out.

3.2.14 BUILDING REGULATIONS PART L: ENERGY CONSERVATION

The existing building is a protected structure and exempt from the requirements of Part L of the Building Regulations under SI. 243: 2012 article 4. Where substantially new construction is proposed consideration of to the guidance set out in Part L will be implemented.

3.2.15 BUILDING REGULATIONS PART M: ACCESS AND USE

The proposals will afford universal access to the entire ground floor of the premises, where both bar and restaurant facilities are provided. A new lift will afford access to the first floor mezzanine (U-shaped building to rear) by wheelchair users. Disabled WC facilities are provided at ground and first floor level.

The proposals will afford universal access to the ground floor of the U-shaped building, where all communal facilities are provided. A new lift will afford access to the first floor mezzanine (U-shaped building to rear) by wheelchair users. An accessible twin room (en-suite)) has been provided at first floor level, adjacent to the lift. Disabled WC facilities are provided at ground floor level.

4.0 IMPACT OF THE PROPOSED WORKS ON THE PROTECTED STRUCTURE

The proposed change of use will in our opinion have a very positive impact. It will significantly enhance and improve this Protected Structure.

The former Branigan Weavers building has laid vacant for almost a decade, during which time it has fallen further into disrepair through lack of care and maintenance. Keeping this building in active use is one of the best ways to preserve this historic building and its fabric.

As proposed, the works retain the remaining historical fabric/features of historical importance to the maximum extent.

As per the previously granted permission (Ref No. 17823) the proposals will also involve works to remove inappropriate additions (such as the roof structure and finish to the front building) and replace these with more appropriate solutions, in keeping with the original character of the building. The proposed roof finish will also enhance and be more in keeping with the neighbouring properties in this Architectural Conservation Area of the North Quay, Drogheda.

The proposed enclosed gallery to the south elevation of the courtyard is appropriate in terms of scale and materials. This along with the proposed internal layout are easily reversible if required in accordance with best practice Conservation principles. The proposed materials are clearly identifiable as a new construction.

In our opinion, the scope and extent of the proposed work is fully justified and acceptable in conservation terms. The proposed works are focused on guaranteeing an appropriate, sympathetic and viable long-term use for the building and ensuring its continued presence as part of the historic streetscape of Mayoralty Street into the future.

OVERALL CONCLUSION

It is our opinion that this scheme successfully addresses all issues pertaining to:

- Appropriate refurbishment works within a protected structure
- Suitable proposed new use for this building typology
- Adherence to Conservation best practice in relation to new works and renewal of the historic built environment.

APPENDICES

APPENDIX No. 1 - PHOTOGRAPHIC SURVEY

Front Building (Protected Structure)



Figure No. 10 – View along Mayoralty Street (West Elevation)

Figure No. 11 – Details of adjoining premises (Mayoralty Street) and North (Side) Elevation



Figure No. 12 – Front (West) Elevation, former Branigan Weavers Building



Figure No. 13 – Carriage Arch, Front Elevation

Figure No. 14 – Projecting stone detail at eaves



Figure No. 15 – Underside of Carriage Arch, looking towards Mayoralty Street

Figure No. 16 – Typical window, Front Elevation



Figure No. 17 - External door to Lobby, Rm No. 1



Figure No. 18 – External door to Room No. 5

Figure No. 19 – Details on Front Elevation: structural ties, external lighting



Figure No. 20 – Rear (West) Elevation of Front Building (Protected Structure)

Figure No. 21 – Side (South Elevation)

Figure No. 22 – Existing Roof (View from rear)

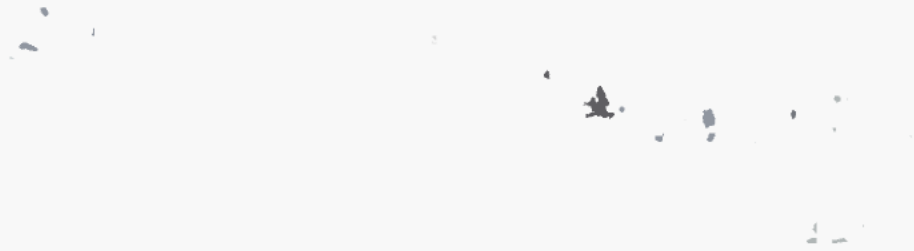


Figure No. 23 – Remnants of the original timber roof trusses

Figure No. 24 – Room No. 11 including Lightweight timber roof structure

Figure No. 25 – Original timber and brick structure



Figure No. 26 – Concrete infill to top of existing wall

Figure No. 27 - Missing roof ridge

Figure No. 28 - Stairs off Room No. 1

Figure No. 29 - Existing Staircase Room No. 6

2

Figure No. 30 – Room No. 1

Figure No. 31 – Room No. 5

Figure No. 32 – Room No. 6 (looking northwards)

Figure No. 33 – Room No. 6 (looking southwards)

Figure No. 34 – Typical window detail, Room No. 6

Figure No. 35 - Existing window Rm No. 6

Figure No. 36 – View from Rm No. 6



Figure No. 37 – Opes form Room No. 6 leading into Room No. 10



Figure No. 38 – Southern end of Room No. 6; void up the entire height of the building

Figure No. 39 – Original ope blocked up; original timber lintel remains

Figure No. 40 – Original timber lintel. New metal ties.

Figure No. 41 – Structural tie rods to underside of floors



Figure No. 42 – Original timber floors

Figure No. 43 – Existing metal feature

Figure No. 44 – Opes to underside of floor boards

6.2 Existing 'U-shaped' Building to Rear

Figure No. 45 – Northern Courtyard Elevation

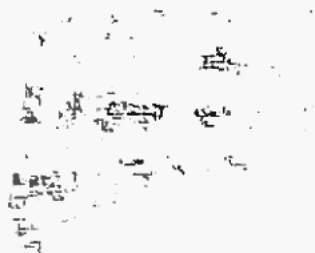


Figure No. 46 – Eastern Courtyard Elevation

Figure No. 47(a)– Southern Courtyard Elevation

Figure No. 47(b)– Southern Courtyard Elevation

Figure No. 48 – Side (North) Elevation

Figure No. 49 – Rear (East) Elevation



Figure No. 50 – Existing Side Elevation/Roof



Figure No. 51 - Original gable

Figure No. 52 – Staircase Room No. 3



FigNo. 53 – Staircase Rm No. 4

Figure No. 54 – Room No. 2



Figure No. 55 – Room No. 3 – View out to Courtyard/Mayoralty Street

Figure No. 56 – View of Room No. 3 From Room No. 12

Figure No. 57 – Room No. 3, areas under Room No.. 8

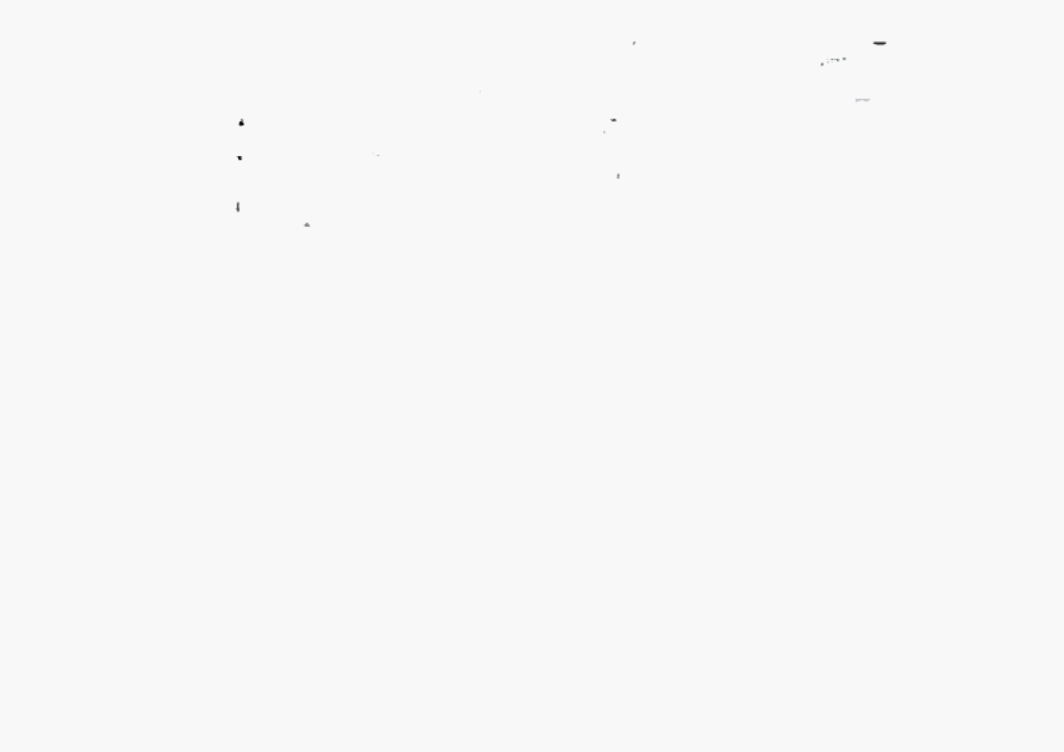


Figure No. 58 – Room No. 3, double storey height void



Figure No. 59 – Room No. 3 (under Room No. 9)



Figure No. 60 – Room No. 4

Figure No. 61 – Room No. 12

Figure No. 62 – Room No. 7



Figure No. 63 – Room No. 8 (Northern Wing)

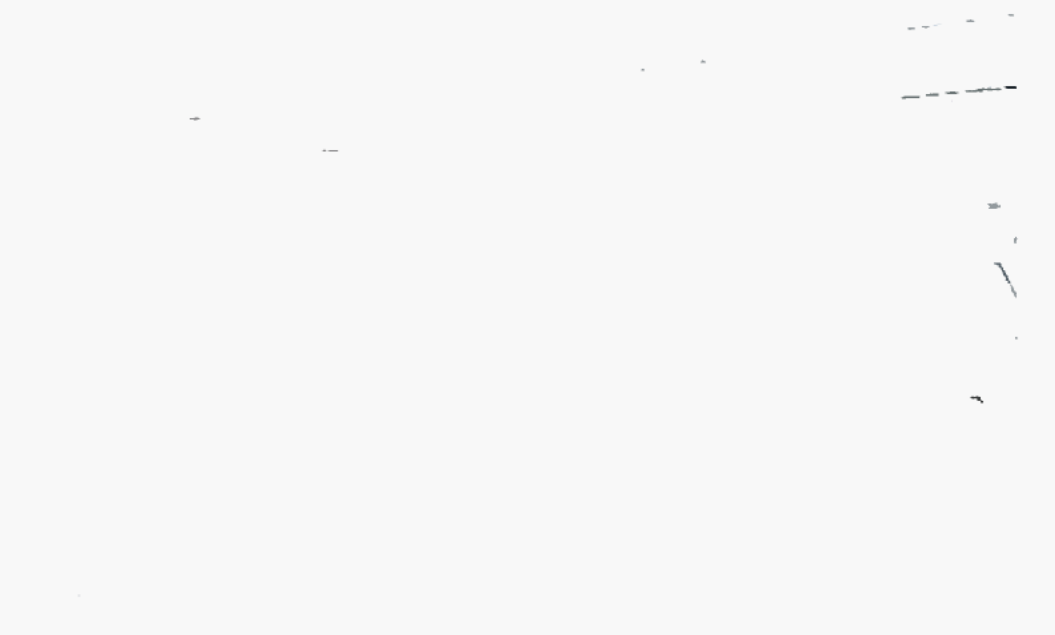


Figure No. 64 – Room No. 8 (central section)

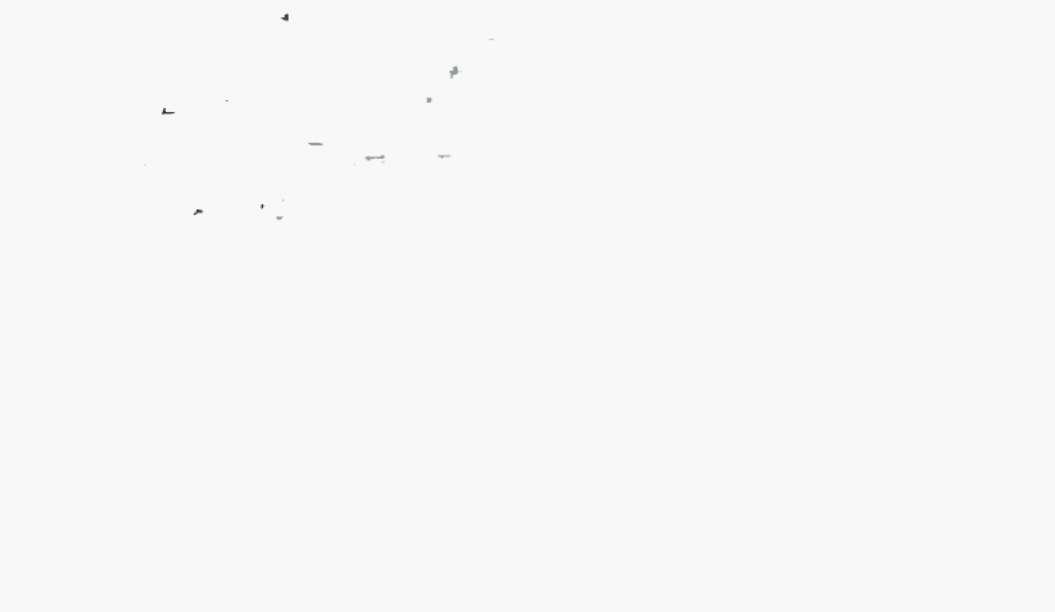


Figure No. 65 – Gable wall, Room No. 8

Figure No. 66 – Room No. 8, remnants of timbers, ope blocked up



Figure No. 67 –View from Room No. 9 across void (to Room No. 8)

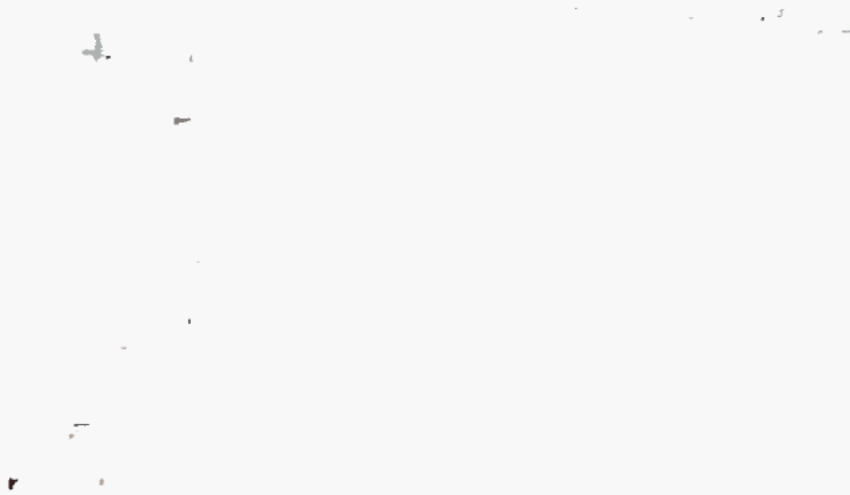


Figure No. 68 – View from Room No. 8 across void to Room No. 9



Figure No. 69 – Room No. 9 – Eastern gable wall



Figure No. 70 – Room No. 9 – view to western wall



Figure No. 71 – Access to Room No. 10 from Room No. 9

Figure No. 72 - Room No. 9

Figure No. 73 - Room No. 9

Figure No. 74 - View from Room No. 4 up to Room No. 10.

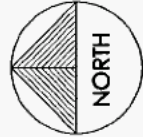
APPENDIX No. 2: EXISTING DRAWINGS

C519 – SU01	Site Layout Plan
C519 – SU02	Floor Plans
C519 – SU03	Sections/Elevations
C519 – SU04	Elevations

NOTES

Figured dimensions only to be taken from drawings.
All dimensions to be checked on site before work commences and
Architect to be informed of any discrepancies.
All work is to comply with the current Building Regulations.
This drawing is copyright.

REV. REVISION DATE



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SCALE 1:500 @ A4

DATE JUNE 2017

DRAWN BY TCB/EB

PLOT DATE 14.06.2017

PROJECT NO. C 519

DRAWING NO. SU-01

50 NORTH ROAD
DROGHEDA
CO. LOUIH
A92 W725

t: 041 9832950
e: info@mckevittking.ie
w: www.mckevittking.ie

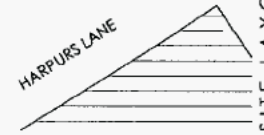
MCKEVITT KING
ARCHITECTS

PROJECT
SURVEY AT MAYORALTY STREET, DROGHEDA, CO. LOUIH
(FORMER BRANIGAN WEAVERS)

TITLE
EXISTING SITE LAYOUT PLAN

STAGE
SURVEY

CLIENT
MAYORALTY LTD



SITE LAYOUT PLAN
DATE 11.06.2017

NORTH

FIRST FLOOR PLAN
SCALE 1:200

SECOND FLOOR PLAN
SCALE 1:200

100

TRADE	12/2016	12/2016	12/2016
EXISTING FLOOR PLANS	DATE	DATE	DATE
STAGE	DESIGNED BY	DESIGNED BY	DESIGNED BY
SURVEY	FOR DATE	FOR DATE	FOR DATE
CLIENT	PROJECT NO	PROJECT NO	PROJECT NO
MAVORNALTY LTD	Drawn by	Drawn by	Drawn by
	SU-022	SU-022	SU-022

NOTES

Figured dimensions only to be taken from drawings.
All dimensions to be checked on site before work commences and
checked against the drawings.
All work to comply with the current Building Regulations.
The drawings to be signed.

REV. REVISION DATE



SECTION B-B/WEST ELEVATION
SCALE 1:100



SECTION D-D/EAST ELEVATION
SCALE 1:100



SECTION E-E
SCALE 1:100



SECTION F-F
SCALE 1:100



SECTION A-A/SOUTH ELEVATION
SCALE 1:100



SECTION C-C/NORTH ELEVATION
SCALE 1:100



SECTION G-G
SCALE 1:100

KEY PLAN
NOT TO SCALE



MCKEVITT KING
ARCHITECTS

PROJECT: MAJORALTY COURT, GROSVENOR, CO. DUBLIN
(FORMER MANGAL HEAVEN)

DATE: 10/01/2020
DRAWN BY: MCKEVITT KING
CHECKED BY: MCKEVITT KING
PROJECT NO: C 519
DRAWING NO: SU-03

30 NORTH ROAD
DUBLIN 4
TEL: 01 454 1111
WWW.MCKEVITTING.COM

NOTE

Plotted dimensions are to be taken from drawings
as shown. No field work or additional measurements and
adjustments to be made of any dimensions.
All work to be done in accordance with the current Building Regulations.
The drawing is copyright.

REV REVISION

DATE

WEST ELEVATION
SCALE 1:100

NORTH ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100

SECTION E-E
SCALE 1:100

50 NORTH ROAD
DROGHEDA,
CO. DUBLIN
APR 2017



MCKEVITT KING
ARCHITECTS

E 061 7832250
info@mckevittking.ie
www.mckevittking.ie

PROJECT
SURVEY AT MAYORALTY STREET DROGHEDA, CO. DUBLIN
(FORMER BRANIGAN WEAVERS)

TITLE	SCALE	1:100 (A1)
EXISTING ELEVATIONS	DATE	APR 2017
	DRAWN BY	11/08/18
STAGE	PLD DATE	11/02/2017
SURVEY	PROJECT NO	C519
CURR	DRAWING NO	SU-04
MAYORALTY LTD		

APPENDIX No. 3: PROPOSED DRAWINGS

C519 – PP01	Site Location Plan
C519 – PP02	Site Layout Plan
C519 – PP03	Floor Plans
C519 – PP04	Second Floor Plan
C519 – PP05	Sectional Elevations
C519 – PP06	Elevations
C519 – PP07	Contiguous Elevations

NOTES
 Revised drawings only to be taken from drawings
 All alterations to be checked and approved by the architect and
 architect's to be approved of any alterations
 All work to be carried out in accordance with the current Building Regulations
 No drawing to be copied

DATE: 12/11/17

SITE OUTLINED IN RED
 AREA OF A.C.A. REF. NO. 10 NORTH
 QUANT OUTLINED IN GREEN
 BUILDING OF REGIONAL IMPORTANCE
 O.S. LICENCE NO. AB 0008919



O.S. REF. NO. LOUTH
 2319-17

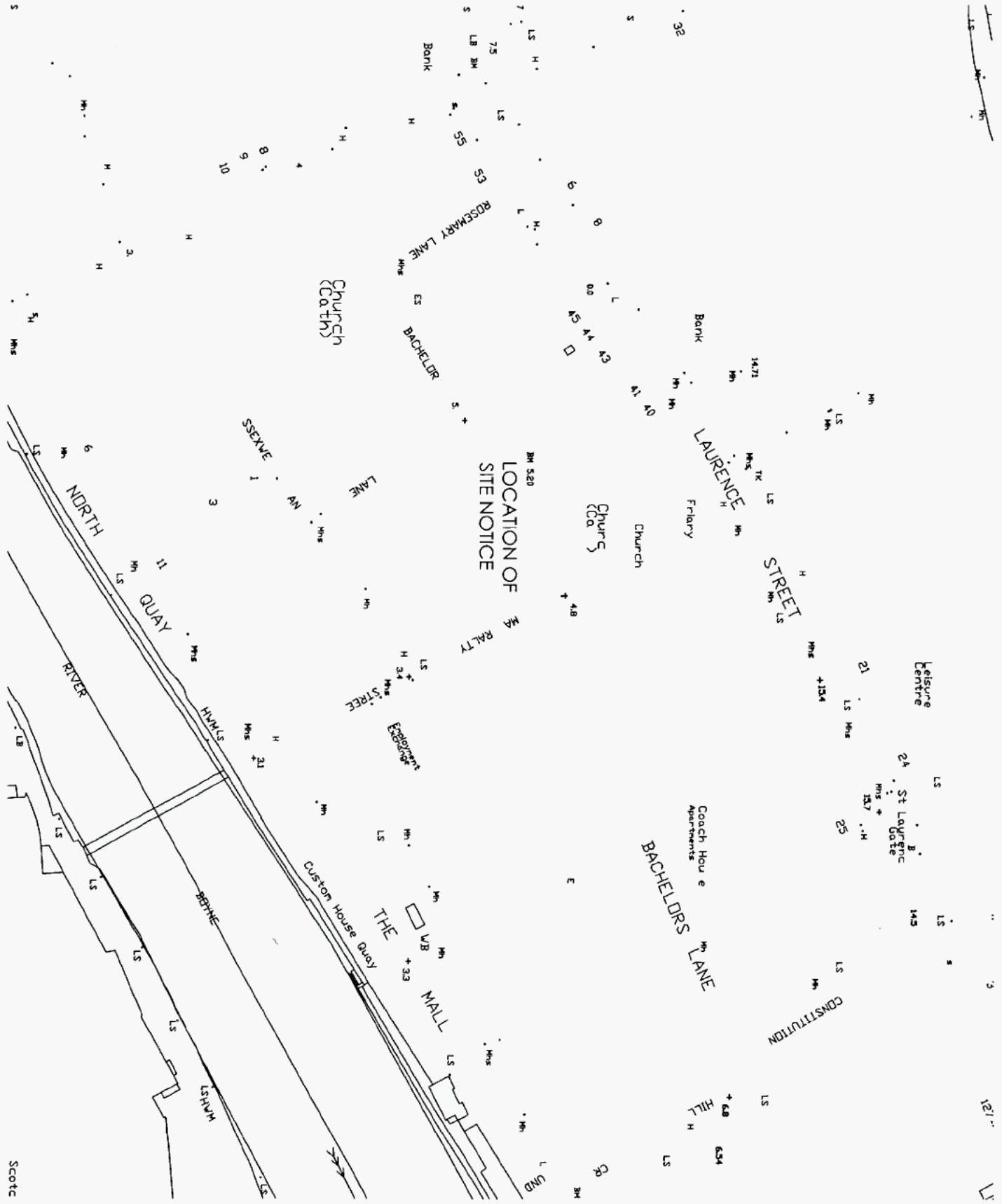


MCKEVITT KING
 ARCHITECTS

PROPOSED
 CHANGE OF USE AND REDEVELOPMENT AT LOUTH QUAY STREET
 DROGHEDA, CO. DUBLIN (FORMER BRANCH ROAD 172)

TITLE: SITE LOCATION MAP
 SCALE: 1:10000
 DATE: June 2016
 DRAWN BY: JP
 PROJECT NO: C 519
 CLIENT: MCKEVITT KING
 PROJECT NO: PP-01

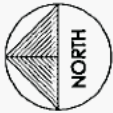
S
 SITE LOCATION MAP
 SCALE 1:10000000



NOTES

Figured dimensions only to be taken from drawings.
All dimensions to be checked on site before work commences and
All dimensions to be checked on site before work commences and
All work to comply with the current Building Regulations.
This drawing is copyright.

REV. REVISION DATE



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TO EXISTING LOCAL AUTHORITY SEWER AS PER
(GRANTED PERMISSI N EFINO 17823)

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EXISTING LOCAL AUTHORITY SEWER
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TO EXISTING LOCAL A THORITY SEWER AS
PER GRANTED PERMISSI N EFINO 17823

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EX TI G I LOCAL AU R WATER IN

WORKSPACE
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MAY RA STREET

RIVATE CAR
PARK

EXISTING BUILDING HIGH IS
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DB-008 (NIAH REF NO 13622023)
OUTLINED IN BLUE DASHED LINE

ITE LA
SCALE 1:250

N

PROPOSED NEW DEVELOPMENT
(SHOWN SHADDED YELLOW)

TO BE REMOVED
(SHOWN DASHED)

BUILDING OF REGIONAL IMPORTANCE

AREA OF A.C.A. (REF. NO. 10 NORTH)
OUTLINED IN GREEN



MCKEVITT KING
ARCHITECTS

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CO. LOUTH
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PROJECT
CHANGE OF USE AND REDEVELOPMENT AT MAYRA STREET,
DROGHEDA CO. LOUTH (FORMER BANGAN HEAVENS)

TITLE	PROPOSED SITE LAYOUT PLAN
SCALE	1:250 @ A3
DATE	June 2019
DRAWN BY	TCB/EA
PLOT DATE	17/06/2019
PROJECT NO.	C 519
DRAWING NO.	PP-02

INTREO EMPLOYMENT
OFFICE

SPECIFICATION (TO BE READ IN CONJUNCTION WITH PROPOSED DEVELOPMENT DESCRIPTION AND ACCOMPANYING ARCHITECTURAL CONSERVATION REPORT)

PROPOSED WORKS AS INCLUDED IN THE CHANGE OF USE PLANNING APPLICATION - PROPOSED HOSTEL (JUNE 2019) ARE DESCRIBED IN 'BLACK TEXT'.

PROPOSED WORKS AS PREVIOUSLY GRANTED (PLANNING APPLICATION REF NO: 17823) ARE NOTED IN 'BLUE ITALIC TEXT'.

ROOF CONSTRUCTION:

PITCHED ROOFS TO FRONT BUILDINGS: TRADITIONAL NATURAL SLATES ON TIMBER BATTENS WITH SU SARKING FELT ON PROPOSED STEEL TRUSSES TO ENGINEER'S SPECIFICATION

EAVES:

EXISTING GUTTERS ARE TO BE REPLACED AS NECESSARY (FOLLOWING INSPECTION) WITH NEW CAST ALUMINIUM, PROFILE & COLOUR TO MATCH EXISTING FIXED TO HARDWOOD TIMBER FASCIA WITH STEEL BRACKETS ON BRICK CORBEL COARSE

EXTERNAL WALLS:

WHERE NEW: 350mm CAVITY WALL CONSTRUCTED WITH 100mm BLOCK INNER LEAF 150mm CAVITY WITH 110mm XTRATHERM CTPIR CAVITY INSULATION BOARD AND 100mm SOLID BLOCK OUTER LEAF WITH LIME PLASTERED FINISH. WALLS TO ACHIEVE MINIMUM U-VALUE OF 0.21W/m²K IN COMPLIANCE WITH PART L 2011 BUILDING REGS

FLOOR CONSTRUCTION (REFER TO DRAWING PP-05):

WHERE NEW FLOORS ARE CONSTRUCTED: 75mm SCREED ON 150mm INSULATION ON 150mm CONCRETE FLOOR SLAB ON COMPACTED SAND AND 225mm LAYERS OF HARDWARE FLOOR TO ACHIEVE MINIMUM U-VALUE OF 0.21W/m²K IN COMPLIANCE WITH PART L 2011 BUILDING REGS

STONE WALLS (EXTERNALLY):

EXISTING STONE WALLS TO BE REPAIRED AS NECESSARY AND LIME WASHED.

WHERE NEW: STONE TO BE DRY BEDDED ROUGH CUT NATURAL STONE

WINDOW CILLS:

EXISTING TO BE REPAIRED WHERE POSSIBLE. WHERE NECESSARY, REPLACED CILLS ARE TO BE TRADITIONAL LIMESTONE CILL

WINDOWS AND DOORS (REFER TO DRAWING PP-03):

WHERE NEW: SELECT COLOUR HARDWOOD WINDOWS WITH TRIPLE GLAZING.

ALL NEW WINDOWS AND DOORS TO ACHIEVE A MINIMUM U-VALUE OF 1.6W/m²K IN COMPLIANCE WITH TGD L 2011 BUILDING REGULATIONS

DOORS - WHERE NEW: SOLID HARDWOOD DOORS TO REPLACE EXISTING. 2ND. DOORS TO FRONT ELEVATION TO BE WIDENED IN ORDER TO FACILITATE MEANS OF ESCAPE.

DOOR TO REAR OF BUILDING TO BE BLOCKED UP TO ADJOINING YARD.

ROOFLIGHTS

NEW VELUX ROOFLIGHTS TO BEDROOMS WHERE SHOWN

AOVs (2m²) TO ROOFS OF EXISTING BUILDINGS. VELUX CONSERVATION ROOFLIGHT TO BE USED ON FRONT BUILDING.

GUTTERS & DOWNPIPES

EXISTING TO BE REPLACED AS NECESSARY (FOLLOWING INSPECTION) WITH CAST ALUMINIUM GUTTERS AND ALUMINIUM DOWNPIPES, PROFILE & COLOUR TO MATCH EXISTING

INTERNAL FINISHES:

INTERNAL WALLS AND CEILINGS TO BE CLEANED DOWN AND ALL BLUSTERS, BLEMISHES, ETC. TO BE RUBBED DOWN AND FILLED BEFORE APPLYING 2 COATS OF 'DULUX' WHITE PAINT TO INTERNAL WALLS AND CEILINGS WHERE NECESSARY

INDEPENDENT WALL LINING SYSTEM TO BE USED WHERE NECESSARY IN RENOVATION OF EXISTING FRONT BUILDING

LOCALISED ROT TO TIMBER TO BE TREATED USING BEST PRACTICE METHODS

COURTYARD:

NEW STONE PAVING/HIGH QUALITY CONCRETE TO BE LAID IN ACCORDANCE WITH PART M OF CURRENT BUILDING REGULATIONS

GATES:

EXISTING GATES TO FRONT OF EXISTING BUILDING (ARCHWAY) TO BE REPLACED WITH NEW TIMBER GATES TO MATCH EXISTING

SIGNAGE:

TIMBER SIGNAGE FIXED TO FRONT OF EXISTING BUILDING (SEE PP-06)

LIGHTING:

EXISTING DOWNLIGHTERS TO BE REMOVED AND REPLACED WITH NEW MODERN LIGHT FITTINGS. NEW MODERN LIGHT FITTINGS TO BE WALL MOUNTED IN COURTYARD

NOTES:
Figured dimensions only to be taken from drawings.
As different to be checked on site before work commences and
As different to be informed of any discrepancies.
As work is to comply with the current building regulations.
The drawing is copyright.

REV. REVISION DATE



ROOM KEY

4 BEDROOM DOBN

4 BEDROOM DOBN

PROPOSED NEW DEVELOPMENT
(SHOWN SHADY YELLOW)

TO BE REMOVED
(SHOWN DASHED)



MCKEVITT KING
ARCHITECTS

50 NORTH ROAD
DROGHEDA
CO. DUBLIN
A92 W725

T: 01 9339250
e: info@mckevittking.ie
w: www.mckevittking.ie

PROJECT:
CHANGE OF USE AND REPAIR/REPAIRMENT AT MAYORALTY STREET,
DROGHEDA, CO. DUBLIN (FORMER BRANDAN WEAVERS)

TITLE: PROPOSED SECOND FLOOR PLAN
SCALE: 1:100 @ A2
DATE: June 2019
DRAWN BY: TCB/LS
PLOT DATE: 17.06.2019
PROJECT NO: C 519
STAGE: PLANNING
CLIENT: MAYORALTY LTD
DRAWING NO: PP-04

Round dimensions only to be up on iron drawings.
All dimensions to be checked on site before work commences, and a certificate to be returned of any discrepancies.
All work to comply with the current Building Regulations.
The drawing is complete.

REV	REVISION	DATE
	SPECIFICATION TO BE READ IN CONJUNCTION WITH PROPOSED DEVELOPMENT DESCRIPTION AND ACCOMPANYING ARCHITECTURAL/CONSERVATION REPORT)	
	PROPOSED WORKS AS INCLUDED IN THE CHANGE OF USE PLANNING APPLICATION - PROPOSED HOTEL (JUNE 2011) ARE DESCRIBED IN "BLANK TEXT".	
	PROPOSED WORKS AS PREVIOUSLY GRANTED PLANNING APPLICATION REF NO: 17833) ARE NOTED IN "BLUE ITALIC TEXT".	

ROOF CONSTRUCTION:
PITCHED ROOFS TO MOUNT BUILDING. TRADITIONAL NATURAL SLATES ON TIMBER BATTENS WILL BE REPLACED BY 12mm THICK, 150mm WIDE, 1800mm LONG, 18mm GUTTERS WITH NEW CAST ALUMINUM PROFILE & COLOUR TO MATCH EXISTING FIXED TO HARDWOOD TIMBER. FASTENERS WITH STEEL BRACKETS ON BRICK CORNER. COARSE SANDING TELL ON PROPOSED STEEL TRUSSES TO ENHANCE SPCIFICATION.

RAVEL:
EXISTING GUTTERS ARE TO BE REPLACED AS NECESSARY (FOLLOWING INSPECTION) WITH NEW CAST ALUMINUM PROFILE & COLOUR TO MATCH EXISTING FIXED TO HARDWOOD TIMBER. FASTENERS WITH STEEL BRACKETS ON BRICK CORNER. COARSE SANDING TELL ON PROPOSED STEEL TRUSSES TO ENHANCE SPCIFICATION.

EXTERNAL WALLS: WHERE NEW, 350mm CAVITY WALL CONSTRUCTED WITH 100mm BLOCK INNER LEAF, 150mm CAVITY WITH 110mm XTHERM CTYPE CAVITY INSULATION BOARD AND 100mm SOLID BC OUTER LEAF WITH LINE PLASTERED FINISH. WALLS TO ACHIEVE MINIMUM U-VALUE OF 0.21W/M²K.

FLOOR CONSTRUCTION (REFER TO DRAWING PF-03):
WHERE NEW FLOORS ARE CONSTRUCTED, 75mm SC REED ON 150mm INSULATION ON 150mm
CONCRETE FLOOR SLAB ON COMPACTED SAND AND 255mm LAYERS OF HARDCORE FLOORS
ACHIEVE MINIMUM U-VALUE OF 0.21W/M²K IN COMPLIANCE WITH PART L 2011 BUILDING REGS

STONE WALLS (EXTERNALLY):
EXISTING STONE WALLS TO BE REPAIRED AS NECESSARY AND LIMB WASHED

WHERE NEW STONE TO BE DRY BEDDED ROUGH CUT NATURAL STONE

WINDOW CILLS:
EXISTING TO BE REPAIRED WHERE POSSIBLE WHERE NECESSARY REPLACED CILLS ARE TO BE
TRADITIONAL LIMESTONE CILL

WINDOWS AND DOORS (REFER TO DRAWING #9-03):
WHERE NEW, SELECT COLOUR HARDWOOD WINDOWS WITH TRIPLE GLAZING
ALL NEW WINDOWS AND DOORS TO ACHIEVE A MINIMUM U-VALUE OF 1.4 W/M²K IN
COMPLIANCE WITH TGD (2011) BUILDING REGULATIONS

DOORS - WHERE NEW, SOLID HARDWOOD DOORS TO REPLACE EXISTING
2ND DOORS TO FRONT ELEVATION TO BE WIDENED IN ORDER TO FACILITATE MEANS OF ESC.
DOOR TO REAR OF BUILDING TO BE BLOCKED UP TO ADJOINING YARD.

ROOFTOPS
NEW VELUX ROOFTIGHTS TO BEDROOMS WHERE SHOWN
ACT 1270 / TO ROOFS OF EXISTING BUILDINGS VELUX CONSERVATION ROOFTIGHT TO BE US
ON FRONT ALONG

GUTTERS & DOWNSPIPES
EXISTING TO BE REPLACED AS NECESSARY (FOLLOWING INSPECTIONS) WITH CAST ALUMINUM GUTTERS AND ALUMINUM DOWNSPIPES, PROFILE & COLOR TO MATCH EXISTING.

INTERNAL FINISHES:
INTERNAL WALLS AND CEILINGS TO BE CLEANED DOWN AND ALL BLDERS, BLEACHES ETC TO
RUBBED DOWN AND FILLED BEFORE APPLYING 2 COATS OF "OLUF" WHITE PAINT TO INTERNAL

INDEPENDENT WALL LINING SYSTEM TO BE USED WHERE NECESSARY IN RENOVATION OF EXISTING FRONT MERE CLINIC

LOCALISED ROT TO TIMBER TO BE TREATED USING BEST PRACTICE METHODS

COURTYARD:
NEW STONE PAVING/HIGH QUALITY CONCRETE TO BE LAID IN ACCORDANCE WITH PART M &
CURRENT BUILDING REGULATIONS

GATES:
EXISTING GATES TO FRONT OF EXISTING BUILDING (ARCHWAY) TO BE REPLACED WITH NEW
TIMBER GATES TO MATCH EXISTING

SIGNAGE:
 TIMBER SIGNAGE FIXED TO FRONT OF EXISTING BUILDING (SEE PP.06)

LIGHTING:
EXISTING DOWNLIGHTERS TO BE REMOVED AND REPLACED WITH NEW MODERN+LIGHT FITTING
NEW AMBIENT LIGHT FITTING TO BE WALL MOUNTED IN CORRIDOR AREA

100

PROPOSED NEW DENTITION (MORPHO STANDARD FELLOW)

10. REMOVED (SHOWN DASHED)

50 NORTH ROAD
DROGHEDA
CO. DUBLIN
A65 0254

ACKEVITT KING
ARCHITECTS

PROJECT
CHANGE OF USE AND REBURNISHMENT AT MAYORALTY STREET
CROOKINGDALE COLLEGE (FORBES ROAD) (WATERS)

FILE	SCALE	1:100 (E A1)
PROPOSED TECHNICAL ELEVATIONS	DATE	JUNE 2019

STAGE	PROJECT NO	17-04-2019
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DATE
MAJORITY LTD
PP-05

SECTION B-B / WEST ELEVATION
SCALE 1" = 100'

SECTION D-D/EAST ELEVATION
SCALE 1"=100'

KEY PLAN
NOT TO SCALE

SECTION G-G
SCALE 1:100



WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1-100

SCALE 1:100

SPECIFICATION TO BE READ IN CONJUNCTION WITH PROPOSED DEVELOPMENT DESCRIPTION AND ACCOMPANYING ARCHITECTURAL CONSTRUCTION DRAWING

PROPOSED WORKS AS INCURRED IN THE CHANGE OF USE PLANNING APPLICATION - PROPOSED HOSTEL (LPH# 2015) ARE DESCRIBED IN "SUCH FOST".

PROPOSED WORKS AS PREVIOUSLY REQUESTED (PLANNING APPLICATION REF NO: 17823) ARE NOTED IN "SUCH FOST".

ROOF CONSTRUCTION:
EXISTING ROOF TO BE REPAIRED. TRADITIONAL NATURAL SLATES ON THINER BUTTRES WITH 30 SANDING FELLS. GUTTERS TO BE REPLACED WITH NEW SLATES TO COMPLY WITH THE BUILDING SPECIFICATION.

FAÇADES:
EXISTING GUTTERS ARE TO BE EXTENDED AS NECESSARY, FOLLOWING INSPECTIONS WITH NEW CAST ALUMINIUM FINISHES. A COLOUR TO MATCH TO MATCH TO MATCH TO HARDWOOD TRIMED TO HARDWOOD WITH STEEL BRACKETS ON BRICK CORNICE CHARGE.

INTERNAL WALLS:
WHERE NEW 300MM CAVITY WALL CONSTRUCTED WITH 100MM BLOCK INNER LEAF 150MM CAVITY WITH 100MM FINISH WALLS TO BE REPAIRED AS NECESSARY. A MINIMUM VALUE OF 6.1 W/m² IN COMPLIANCE WITH PART L2B BUILDING REGS.

FLOOR CONSTRUCTION (REFER TO DRAWING P.100):
WHERE NEW FLOORS ARE CONSTRUCTED 150MM SLETTED ON 150MM INSULATION ON 150MM CONCRETE FLOOR SLAB ON COMPACTED SAND AND 250MM LAYER OF HARDWOOD FLOOR TO ACHIEVE MINIMUM U-VALUE OF 0.13 W/m² IN COMPLIANCE WITH PART L2B BUILDING REGS.

STONE WALLS (EXTERNALLY):
EXISTING STONE WALLS TO BE REPAIRED AS NECESSARY AND GUTS WASHED.

WHERE NEW STONE TO BE ON BLOCKED ROUGH CUT NATURAL STONE.

WINDOW CELLS:
EXISTING TO BE REPAIRED WHERE POSSIBLE. WHERE NECESSARY REPLACED CELLS ARE TO BE TRADITIONAL LINDSEY CIL.

WINDOW SILL:
WHERE NEW DOORS, REPAIR TO DRAWING P.102.

WHERE NEW, SELECT COLOUR HARDWOOD WINDOWS WITH TRIPLE GLAZING.
WHERE NEW WINDOWS AND DOORS TO ACHIEVE A MINIMUM U-VALUE OF 1.1 W/m² IN COMPLIANCE WITH TGD 10. 2011 BUILDING REGULATIONS.

SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1"=100'

DOOR	WHERE NEW SOLID WOOD DOORS TO BE ADJ. EXISTING AND DOORS TO FRONT ELEVATION TO BE IMPROVED IN ORDER TO FACILITATE MEANS OF ESCAPE
DOOR TO REAR OF BUILDING TO BE BLOCKED UP TO ADJOINING TAIL.	
ROOFLIGHTS	NEW VELUX ROOFLIGHTS TO BEDROOMS WHERE DOWN DOWN SLOPE
ADJ. WALLS TO ROOFS OF EXISTING BALCONIES	VELUX CONSERVATION ROOFLIGHTS TO BE USED ON FRONT BUILDING
GUTTERS & DOWNPIPES	EXISTINGS TO BE REPLACED AT NECESSARY FOLLOWING INSPECTION WITH CAST ALUMINIUM GUTTERS AND ALUMINIUM DOWNPIPES PROFILE & COLOUR TO MATCH EXISTING
INTERNAL FINISHES:	
INTERNAL WALLS AND CEILINGSTO TO BE CLEANED DOWN ALL INTERNAL BLEMISHES ETC TO BE RURED DOWN AND FILLED BEFORE APPLYING 2 COATS OF TOLUX WHITE PAINT TO INTERIOR WALLS AND CEILINGSTHAT ARE NECESSARY	
INDEPENDENT WALL LINING SYSTEM TO BE USED WHERE NECESSARY IN PREVENTION OF EXISTING FRONT BUILDING LOCALISED ROT TO THURP TO BE RELATED USING BEST PRACTICE METHODS	
CONTRIBUTOR	CONTRACTOR TO PROVIDE ADEQUATE QUANTITY CONCRETE TO BE LAID IN ACCORDANCE WITH PART M OF CURRENT BUILDING REGULATIONS
GATES	EXISTING GATES TO FRONT OF EXISTING BUILDING (ARCHWAY) TO BE REPLACED WITH NEW TUNER GATES TO MATCH EXISTING
PANELLERS	TUNER'S SERVICE FIXED TO FRONT OF EXISTING BUILDING (SEE PM 68)
LEARNING	CONSIDERATION TO BE PROVIDED AND REPLACED WITH NEW ACCIDENTLIGHT FITTINGS, NEW MODERN FITTINGSTO THE WALL ADJOINING IN COMPARTMENT



MCKEVITT, KING

50 NORTH ROAD
DROGHEDA
CO. DUBLIN
A92 W725

☎: info@mc.manuscriptcentral.com
t 01 983249

PROPOSED NEW DEVELOPMENT (SHOWN SHADDED YELLOW)

Discussion

CHANGE OF USE AND REFURBISHMENT AT MAYORALTY STREET
DROGHEDA, CO. LOUTH (FORMER BRANIGAN WEAVERS)

Figured dimensions only to be taken from drawings

All dimensions to be checked on the below with comments and architect to be informed of any discrepancies

All work is to comply with the current Building Regulations

1/11 drawing is 1:5 (approx)

STAGE PLANNING	PROJECT NO C519
CLIENT MANUFACTURING	DRAWING NO PP-06

DAVE

NOTES

- Figures (Dimensions only) to be taken from drawings.
- All dimensions to be checked on site before work commences and
- Adjusted to be in line with any discrepancies.
- All work to be in line with the current Building Regulations.
- This drawing is a design.

REV: PERSON: DATE:



CONTIGUOUS ELEVATION (MAYORALTY STREET)
SCALE 1:200

CONTIGUOUS ELEVATION (BACHELOR'S LANE)
SCALE 1:200

PROVIDED NEW DEVELOPMENT (SHOWN IN RED YELLOW)
TO BE REMOVED (SHOWN IN RED)

50 HURSTWOOD
DROGHEDA
CO. DUBLIN
A15 1525

104 153250
153250
or www.mckevittking.ie

MCKEVITT KING
ARCHITECTS

PROJECT
CHANGE OF USE AND IMPROVEMENT AT MAYORALTY STREET,
DROGHEDA, CO. DUBLIN (FORMER MARGAN HEAVEN)

TITLE	SCALE	1:200 @ A1
CONTIGUOUS ELEVATIONS	DATE	APR 2018
	DRAWN BY	15/08/18
STATE	PROJECT NO.	C-519
PLANNING	DRAWING NO.	PP-Q7
CLIENT	MAYORALTY LTD	



Copy Planning P...

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LOUTH COUNTY COUNCIL
Town Hall, Crowe Street, Dundalk, County Louth A91 W20C
Tel: 042/9335457 Fax: 0429392910
PLANNING AND DEVELOPMENT ACT, 2000 (as amended)
NOTIFICATION OF DECISION TO GRANT

TO: Mayoralty Ltd.
c/o McKeivitt King Architects
50 North Road
Drogheda
Co Louth

Date: 10/1/2020

Register Reference Number: 19490

Date Application Received: 21/06/2019

Type of Application: PERMISSION

Description of Development: Permission for development at partially Protected Structure Ref. No. DB-008 (NIAH Ref. No. 13622023) and is located within an ACA (Ref. No. 10-North Quay). Development consists of the change of use for entire building as per previous granted permission (Ref. No. 17823) to hostel which includes accommodation, private commercial kitchen, dining and lounge areas and all associated site works.

Name of Applicant: Mayoralty Ltd.

Location of Development: former Branigan Weavers, Mayoralty Street, Drogheda

Date of Decision: 10/1/2020

In pursuance of the powers conferred upon it by the above mentioned Acts, the Council of the County of Louth, being the Planning Authority for the County of Louth, has decided to **GRANT PERMISSION** for the development mentioned above, subject to the 8 condition(s) set out in the schedule attached.

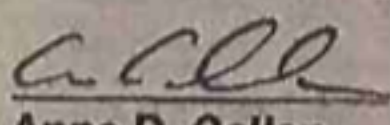
An **appeal** against this decision may be made to An Bord Pleanála. The procedure for making an appeal is available on An Bord Pleanála's website (www.pleanala.ie).

If no appeal is taken against this decision, a grant of PERMISSION will be made on the expiration of the period for the making of an appeal. If an appeal or appeals is/are taken, the grant shall not be made unless the appeal, or, as the case may be, each appeal, is either:

- (a) withdrawn
- (b) dismissed by An Bord Pleanála or
- (c) is subject to a direction by An Bord Pleanála.

N.B. UNTIL THE GRANT IS MADE THE DEVELOPMENT IN QUESTION IS NOT AUTHORISED.

No development may be carried out on foot of an **outline** permission until a **grant of permission consequent on outline** has been obtained.


Anne D. Callan,
Administrative Officer

1/5

LOUTH COUNTY COUNCIL**REFERENCE NO. 19/490****CONDITIONS**

1(a) Subject to the conditions set out below, the proposed development shall be undertaken strictly in accordance with the documents, plans and details lodged with the Planning Authority on 21st June 2019 and as amended by the revised details received by the Planning Authority on 10th December 2019 save as may be required by the other conditions attached hereto.

Add to note

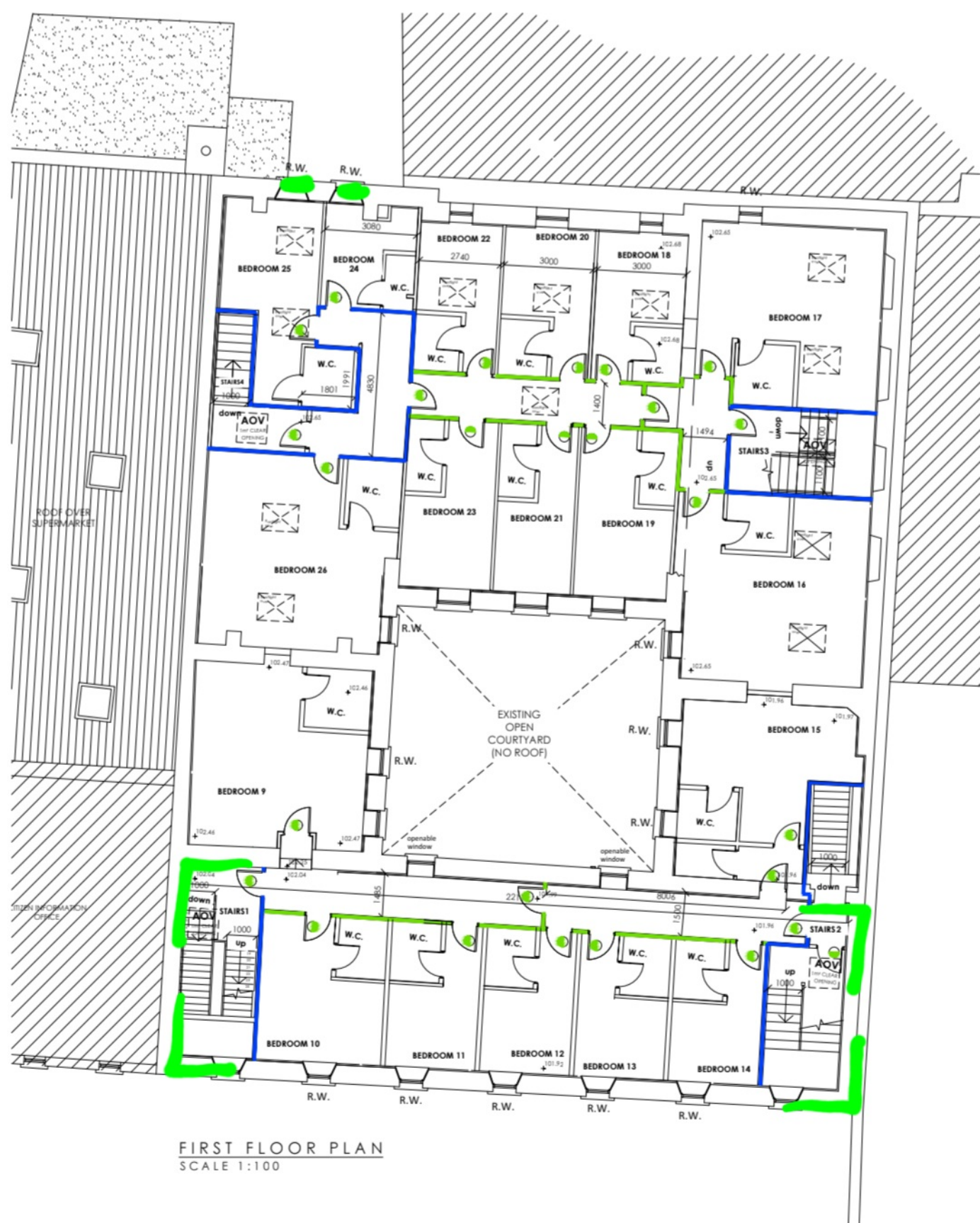




First floor plans...



PDF reader



Add to note

Louth County Council
Section 5 Declaration

Planning Ref: S5 2026/31

Applicant's Name: Martin O'Grady

Type of Application: Section 5 Declaration

Development: Whether the installation of windows in existing openings that was blocked up from previous owners, at the rear of the property, to improve natural light and ventilation to bedrooms located at the rear of the property granted planning no. 19490 is exempted development.

Site Location: Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68.

Site Inspection 21st May 2026

Report Date 26th May 2026

Due Date: 10th June 2026

1.0 SITE LOCATION AND DESCRIPTION

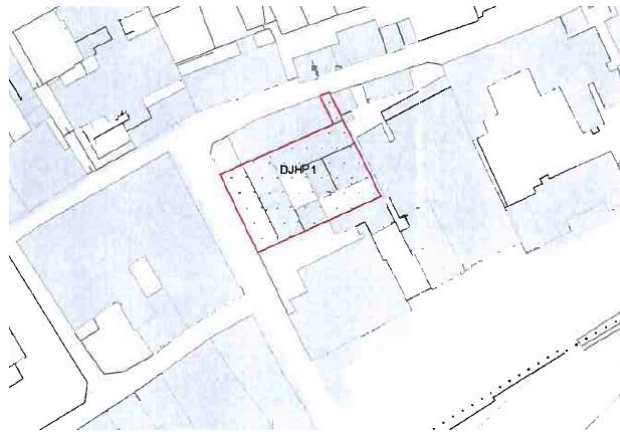


Fig.1: Site Location Plan as submitted

The site is located within the urban settlement limits of Drogheda (a Regional Growth Centre) and on lands zoned '*D1: Regeneration*' whereby the objective is "*to facilitate social, economic and physical regeneration and / or rejuvenation of an area or specific lands,*" as per the Louth County Development Plan 2021-2027, as varied. The site also falls within an Architectural Conservation Area (ACA no. 10: North Quay, including Back Lane)

The submitted location plan encompasses the building at Mayoralty Mill, which is partly protected to the front (RPS ID DB-008) and which is also registered on the National

Inventory of Architectural Heritage (NIAH Reg.no. 13622025) as a building of Regional Importance, with the NIAH description and appraisal as follows:

NIAH Description

“Attached five-bay three-storey building, built c. 1870, now in use as offices. Pitched artificial slate roof, moulded metal rainwater goods. Squared-and-snecked limestone walling, red brick dressings, block-and-start quoins. Square-headed window openings, red brick block-and-start surrounds, tooled limestone sills, painted timber two-over-two sliding sash windows, wrought-iron window guards at ground floor. Round-headed door opening, recent tooled limestone Gibbsian surrounds, plain-glazed fanlight, painted timber panelled door; segmental-headed carriage opening to east of south elevation, red brick block-and-start surround, timber vertically sheeted double doors. Opening onto slightly raised footpath, cast-iron railings to south of entrance door.”

Appraisal

“Located in a narrow laneway, this fine building terminates the vista from Mayoralty Street and the north quays and thus occupies a dramatic position in the streetscape. The timber sliding sash windows, snecked stone and red brick dressings are notable features.”

The RPS within the Louth County Development Plan 2021-2027 (as varied) includes the following description and appraisal:

Description:

“Three storey coursed rubble building.”

Appraisal

“This fine building terminates the vista from Mayoralty Street and the north quays.”

In reviewing the planning history on this site, including particulars submitted under application ref 19490, including a Conservation Report (prepared by McKeivitt King Architects, dated June 2019,) Section 1.3 includes an extract from LCCs’ former RPS which in relation to reference DB-008 (Mayoralty Mill) states:

“Only the front building in this complex is a Protected Structure, it is a building of Regional Importance. The remaining ‘u-shaped’ building is not listed as a Protected Structure.”

In having regard to this, it is accepted that Section 5 is the correct mechanism to deal with the submitted question and not a Section 57 declaration given the submitted details relate to the rear section of the building.

2.0 PLANNING HISTORY

File ref 19/490: Permission for development at partially Protected Structure Ref. No. DB-008 (NIAH Ref. No. 13622023) and is located within an ACA (Ref. No. 10-North Quay). Development consists of the change of use for entire building as per previous granted permission (Ref. No. 17823) to hostel which includes accommodation, private commercial kitchen, dining and lounge areas and all associated site works – Permission Granted 10/02/2020.

File ref. 17/823: Permission and Retention Permission for a development which is a partially protected structure ref no. DB-008 (NIAH ref. no 13622023) and located within an ACA (ref no. 10- North Quay). The development will consist of the following:

1. Retention of finishes and window treatment to front elevation
2. Retention of front wall to rear building off the courtyard
3. Retention of roof types to rear buildings
4. Change of use for entire building to bar, lounge & restaurant venue
5. Internal alterations to existing buildings
6. Existing roof to front building to be replaced with new roof structure and roof finish & associated work
7. Alterations to rear elevation of front building including the reinstating of existing blocked up windows
8. Alterations to elevations of rear buildings
9. Widening of two single doors to front elevation
10. Replacing existing gates in archway to front elevation
11. New signage to front elevation
12. New seating area to front of existing building
13. 3 no. suspended flag poles to front elevation
14. New hard landscaping to front forecourt and courtyard
15. All associated site works. – Permission Granted 05/02/2018.

File ref. 04/510302: Permission to demolish existing building & construct 2 blocks of apts. with a shop & ground floor parking. Block 1 (Block A) incorporating 3 additional storey levels to provide a 6 storey block fronting The Mall & containing 12 two bed apartments & 2 one bed penthouse units, 14 in total. Block 2 (Block B) to the rear on Bachelors Lane, reducing in depth to provide for one apartment deep units with dual aspect and comprising a 5 storey block containing 15 two bed apartments together with roof garden (29 units in total). Additional ground & basement car parking, services, traffic management & increase in private open space – Permission Granted.

File ref. 92/510071: Two new apartments to second floor, change of roof structure and coverings and alts. To ex. Buildings – Permission Granted 24/10/1992.

Enforcement Records:

None.

3.0 DECLARATION SOUGHT

The applicant's submitted question for determination within Section 7 of the submitted application form refers to the following:

"Is the installation of windows in existing openings that was blocked up from previous owners, at the rear of the property, to improve natural light and ventilation to bedrooms location at the rear of the property, granted planning no. 19490."

The Planning Authority shall consider the submitted question in the rephased format below:

Is the installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms exempted development?

The applicant has submitted the following details and particulars:

- Section 5 Declaration Application Form.
- Land Registry Folio Map (LH39652F) and Legal records.
- Conservation Report (McKevitt King Architects, dated June 2019)
- Planning records (dated 11th October 2024) including decision notice in relation to permission ref. 19/490.
- First Floor Plan
- Site Layout Map (Drawing No. 002)

4.0 EIA SCREENING AND DETERMINATION

Council Directive 85/337/EEC (as amended) on the assessment of the effects of certain public and private projects on the environment ('the EIA Directive') is designed to ensure that projects likely to have significant effects on the environment are subject to a comprehensive assessment of their environmental effects prior to development consent being granted. The latest amendments to the EIA Directive are provided under Directive 2014/52/EU and Circular letter PL 1/2017.

Based on information provided and having considered the nature, size and location of the subject development, I am satisfied that there is no real likelihood of significant effects on the environment and as such, an EIAR is not required.

5.0 APPROPRIATE ASSESSMENT

No screening report has been provided with this application. Having regard to the nature and scale of the subject development and the nature of the receiving environment, no appropriate assessment issues arise and it is not considered that the existing development would be likely to have a significant effect individually or in combination with other plans or projects on a European site (Special Area of Conservation or Special Protected Area) and as such an Appropriate Assessment (Stage 2 AA) is not required.

6.0 LEGISLATIVE CONTEXT

S.I. No. 662/2024 - The Planning and Development Act 2024 (Commencement) Order 2024

The Planning and Development Act 2024 (Commencement) Order 2024 states:

"The 2nd day of December 2024 is appointed as the day on which the following provisions of the Planning and Development Act 2024 (No. 34 of 2024) shall come into operation:

- (a) Sections 1 to 5;*
- (b) Part 26*

The Planning and Development Act 2024

Section 2 states:

“development” means—

(a) the carrying out of works—

- (i) on, in, over or under land, or
- (ii) on, in, over or under the maritime area,

or

(b) the making of a material change in the use of—

- (i) land or any structure on land, or
- (ii) the sea, seabed or any structure, in the maritime area, and includes the reclamation of land in the nearshore area;

“exempted development” means—

(a) development of a class prescribed under section 9 , or

(b) development that is exempted development by virtue of section 152;

“alteration” includes, in relation to a structure—

(a) plastering or painting,

(b) the removal of plaster or stucco, and

(c) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

“Architectural Conservation Area” means –

(a) a place, area, group of structures or townscape to which an objective referred to in [section 331](#) applies, or

(b) an architectural conservation area (within the meaning of the [Act of 2000](#)) to which an objective in a development plan under the [Act of 2000](#)—

(i) that continues in force by virtue of [section 68](#), or

(ii) prepared, or varied, in accordance with [section 69](#), applies:]

“Structure” means—

(a) a building, edifice, construction, excavation, or other thing constructed or made on, in or under any land, or a maritime site, or any part thereof, or

(b) the land or maritime site on, in or under which such building, edifice, construction, excavation, other thing or part is situated;

“Unauthorised development” means, in relation to land or a maritime site—

(a) unauthorised works (including the construction, erection or assembly of an unauthorised structure), or

(b) an unauthorised use;

“Unauthorised works” means any works on, in, over or under land or a maritime site, other than—

(a) exempted development,

- (b) development carried out in accordance with—
- (i) a permission granted under Part IV of the Act of 1963 or deemed to be so granted under section 92 of that Act,
 - (ii) a permission granted under section 34, 37G, 37N or 293 of the Act of 2000,
 - (iii) a permission granted under section 9 of the Planning and Development (Housing) and Residential Tenancies Act 2016, or
 - (iv) a permission granted under Part 4,

(c) Chapter 6 State authority development within the meaning of Part 4,

- (d) development required by—
- (i) a notice under section 339,
 - (ii) an order under section 341,
 - (iii) an enforcement notice under section 350, or
 - (iv) a planning injunction under section 351,

or

- (e) development carried out in accordance with—
- (i) a licence under section 13, or
 - (ii) a licence under section 254 of the Act of 2000;

“Unauthorised use” means, in relation to land or a maritime site, a use that is a material change in use of the land or maritime site, other than—

- (a) exempted development, or
- (b) development carried out in accordance with—
 - (i) a permission granted under Part IV of the Act of 1963 or deemed to be so granted under section 92 of that Act,
 - (ii) a permission granted under section 34, 37G, 37N or 293 of the Act of 2000,
 - (iii) a permission granted under section 9 of the Planning and Development (Housing) and Residential Tenancies Act 2016, or
 - (iv) a permission granted under Part 4,
- (c) Chapter 6 State authority development within the meaning of Part 4,
- (d) development required by—
 - (i) a notice under section 339,
 - (ii) an order under section 341,
 - (iii) an enforcement notice under section 350, or
 - (iv) a planning injunction under section 351,

or

- (e) development carried out in accordance with—
- (i) a licence under section 13, or
 - (ii) a licence under section 254 of the Act of 2000;

“unauthorised works” means any works on, in, over or under land or a maritime site, other than—

- (a) exempted development,
- (b) development carried out in accordance with—
 - (i) a permission granted under Part IV of the Act of 1963 or deemed to be so granted under section 92 of that Act,

- (ii) a permission granted under section 34, 37G, 37N or 293 of the Act of 2000,
- (iii) a permission granted under section 9 of the Planning and Development (Housing) and Residential Tenancies Act 2016, or
- (iv) a permission granted under Part 4,
- (c) Chapter 6 State authority development within the meaning of Part 4,
- (d) development required by—
 - (i) a notice under section 339,
 - (ii) an order under section 341,
 - (iii) an enforcement notice under section 350, or
 - (iv) a planning injunction under section 351,
 or
- (e) development carried out in accordance with—
 - (i) a licence under section 13, or
 - (ii) a licence under section 254 of the Act of 2000;

“Works” includes an act or operation—

- (a) of construction, excavation, demolition, extension, alteration, repair or renewal (including in relation to a protected structure, a proposed protected structure or a structure situated in an architectural conservation area), on, in, over or under land or a maritime site,
- (b) consisting of the application of plaster, paint, wallpaper, tiles or other material to the surface of a protected structure or proposed protected structure or the removal of plaster, paint, wallpaper, tiles or other material from such surface, and
- (c) consisting of the application of plaster, paint, wallpaper, tiles or other material to the exterior of a structure situated in an architectural conservation area or the removal of plaster, paint, wallpaper, tiles or other material from such exterior.

The Planning and Development Act, 2000 (as amended)

Section 4:

Section 4(1) provides a list of statutory exempted development.

Section 4(1)(h) provides for “Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”.

Section 4(2) further provides for the making of regulations by the Minister relating to exempted development. The Planning & Development Regulations (PDR) 2001 (as amended) give effect to Section 4(2).

Section 5 states:

- (1) “If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

(2) (a) Subject to paragraph (b), a planning authority shall issue the declaration on the question that has arisen and the main reasons and considerations on which its decision is based to the person who made the request under subsection (1), and, where appropriate, the owner and occupier of the land in question, within 4 weeks of the receipt of the request.

(b) A planning authority may require any person who made a request under subsection (1) to submit further information with regard to the request in order to enable the authority to issue the declaration on the question and, where further information is received under this paragraph, the planning authority shall issue the declaration within 3 weeks of the date of the receipt of the further information.

(c) A planning authority may also request persons in addition to those referred to in paragraph (b) to submit information in order to enable the authority to issue the declaration on the question.”

Section 9:

Section 9(4) states that “Development (other than development that is exempted development by virtue of subsection (1) or (2) of section 152) shall not be exempted development for the purposes of this Act if—

(a) in the case of a protected structure or a proposed protected structure, it materially affects or would materially affect the character of—

(i) the structure, or

(ii) any element of the structure that contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

(b) it is situated, or proposed to be situated, in an area of special planning control and it contravenes or would, if carried out, contravene a special planning control scheme applying to that area, or

(c) in the case of development carried out or proposed to be carried out to the exterior of a structure situated in an architectural conservation area, it materially affects or would, if carried out, materially affect the character of that area.”

Section 32:

Section 32 sets out a general obligation to obtain planning permission in respect of any development of land, not being exempted development, and in the case of development, which is unauthorised, for the retention of that unauthorised development.

Development in Architectural Conservation Areas (ACAs.)

Section 82 states:

(1) [Notwithstanding paragraph (a), (h), (i), (ia), (j), (k) or (l) of section 4(1), or any regulations made under section 4(2),] the carrying out of works to the exterior of a structure located in an architectural conservation area shall be exempted development only if those works would not materially affect the character of the area.

(2) In considering an application for permission for development in relation to land situated in an architectural conservation area, a planning authority, or the Board on appeal, shall take into account the material effect (if any) that the proposed development would be likely to have on the character of the architectural conservation area.

Planning and Development Regulations 2001, (as amended)

Article 6 (1) Subject to Article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Restrictions on Exemption: Article 9

Article 9(1) states “Development to which article 6 relates shall not be exempted development for the purposes of the Act-

(a) if the carrying out of such development would-

(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,

(ii) consist of or comprise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,

(iii) endanger public safety by reason of traffic hazard or obstruction of road users

(iiia) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,

(iv) except in the case of a porch to which class 7 specified in column 1 of Part 1 of Schedule 2 applies and which complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1, comprise the construction, erection, extension or renewal of a building on any street so as to bring forward the building, or any part of the building, beyond the front wall of the building on either side thereof or beyond a line determined as the building line in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(v) consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies,

(vi) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,

(viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,

(viiB) comprise development in relation to which a planning authority or An Bord (now Coimisiún) Pleanála is the competent authority in relation to appropriate assessment, and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000. (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,

(ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or

the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,

(xi) obstruct any public right of way,

(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.

7.0 ASSESSMENT

Does the subject works constitute development?

In having regard to the definition of 'development' within Section 2 of the Planning and Development Act 2024 as being "*the carrying out of works on, in, over or under lands or the making of any material change in the use of any structures or other land,*"

and whereby 'works' "*includes an act or operation—*

(a) of construction, excavation, demolition, extension, alteration, repair or renewal (including in relation to a protected structure, a proposed protected structure or a structure situated in an architectural conservation area), on, in, over or under land or a maritime site," the installation of windows within the existing building, comprises works / alterations to the building, and therefore constitutes '**development.**'

Do the works constitute exempt development?

The submitted particulars include an extract from the first floor plan to the building, annotating the location of the subject windows, to the rear of the property, which appears to include 2 no. openings. It is noted that the floor plan provided does not correspond with the floor plans approved within permission reference 19/490 (i.e. Drawing No. PP-03.) Notwithstanding this, no elevational details or photographs have been provided in relation to the windows installed and it is not known whether the subject windows are existing or proposed. In having inspected the site, access to the rear section of the building was not available and this area was not visible from public views. Given this, in having regard to the location of the windows, I am satisfied that the works do not contravene Section 82 of the Planning and Development Act, 2000, as amended in relation to the ACA.

Notwithstanding this, it is not possible to ascertain on the basis of the details provided, whether the development falls within the scope of Section 4(1)(h) of the Planning and Development Act 2000, (as amended) i.e. whether the referenced windows materially affect the external appearance of the structure, so as to render the appearance inconsistent with the character of neighbouring structures, including adjoining Protected Structure to the front of the building.

Further information including details of the existing windows would therefore be required, to determine this.

Restrictions on exempted development

In having regard to the restrictions on exempted development within Article 9(1) of the Regulations and to the planning conditions attached to permission reference 19/490, condition no.1 states:

“1(a) Subject to the conditions set out below, the proposed development shall be undertaken strictly in accordance with the documents, plans and details lodged with the Planning Authority on 21st June 2019 and as amended by the revised details received by the Planning Authority on 10th December 2019 save as may be required by the other conditions attached hereto.

(b) All relevant conditions as attached to permitted development granted under planning ref no. 17/823 shall be complied with unless altered by condition 1a. above or conditions attached below.

(c) Drawing no. PP-03 illustrates that light to 12 no. bedrooms at 1st floor level would be restricted to rooflights which would result in poor residential amenity. Prior to commencement of any development the applicant shall submit revised drawings to address this matter to the satisfaction of the Planning Authority for written agreement.

Reason: To ensure the development accords with the permission and to ensure that effective control is maintained and in the interests of residential amenity.”

In reviewing the approved details, Drawing PP-03 does not include window openings in the rear boundary wall (first floor) as referenced within the submitted floor plan. Notwithstanding the lack of details provided in relation to the windows themselves, the subject works are not in compliance with condition no. 1 of permission reference 19/490 nor has any compliance been issued by the Planning Authority in relation to this planning condition. Therefore, the subject works contravene a condition attached to permission reference 19/490. Accordingly, the works contravene Article 9(1)(a) of the Planning and Development Regulations, 2001 (as amended) and **are not, therefore exempted development.**

EIA Screening and Determination

Council Directive 85/337/EEC (as amended) on the assessment of the effects of certain public and private projects on the environment (‘the EIA Directive’) is designed to ensure that projects likely to have significant effects on the environment are

subject to a comprehensive assessment of their environmental effects prior to development consent being given. The latest amendments to the EIA Directive are provided under Directive 2014/52/EU and Circular letter PL 1/2017. Based on information provided and having considered the nature, size and location of the development, there is no real likelihood of significant effects on the environment and as such, an EIAR is **not** required.

Appropriate Assessment

Having regard to the nature and scale of the proposed development and the nature of the receiving environment, no appropriate assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects on a European site (Special Area of Conservation or Special Protected Area) and as such, an Appropriate Assessment (Stage 2 AA) is **not** required.

8.0 CONCLUSION

In having regard to the foregoing,

‘The installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms’ at first floor level,

is development which is not exempted development

as it contravenes condition no. 1 attached to permission reference 19/490 and contravenes Article 9(1)(a) of the Planning and Development Regulations, 2001 (as amended.)

Accordingly planning permission would be required for the subject development.

9.0 RECOMMENDATION:

Accordingly, I recommend an Order along the following lines:

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 whether *the ‘installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms’* at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68 is or is not development and is or is not exempt development.

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) The definition of “*development*” in Section 2 of the Planning & Development Act 2024 (as amended).

- (b) Articles 6, 9 and 10 of the Planning and Development Regulations 2001 (as amended.)
- (c) Section 4 of the Planning and Development Act, 2000 (as amended.)
- (d) Section 82 of the Planning and Development Act, 2000 (as amended.)
- (e) The plans and particulars submitted to the Planning Authority
- (f) The Planning history pertaining to the subject building.

AND WHEREAS *Louth County Council has concluded: -*

- (a) The '*installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms*' **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The carrying out of the development would contravene a condition attached to a permission under the Act (permission ref. 19/490) and as such, contravenes Article 9(1)(a) of the Planning and Development Regulations, 2001 (as amended) and **does not therefore constitute exempted development.**

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

the 'installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms'

at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68

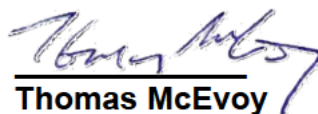
is development and is not exempted development.



Orla Rooney
Assistant Planner
Date: 29/05/2026



Turlough King
A/Senior Planner
Date: 29/05/2026



Thomas McEvoy
Director of Services
Date: 05/06/2026

LOUTH COUNTY COUNCIL

CHIEF EXECUTIVE'S ORDER

PLANNING & DEVELOPMENT ACT 2000 (as amended)

Section 5 Exempted Development

Chief Executive's Order No:	415/2026
Reference No:	S5 2026/31
Date Application Received:	14/05/2026
Description of Development:	Whether the installation of windows in existing openings that was blocked up from previous owners, at the rear of the property, to improve natural light and ventilation to bedrooms located at the rear of the property granted planning no. 19490 is exempted development
Name of Applicant:	Martin O'Grady
Location of Development	Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 whether *the 'installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms'* at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68 is or is not development and is or is not exempt development.

AND WHEREAS the said question was referred to Louth County Council by Martin O'Grady.

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- a) The definition of "*development*" in Section 2 of the Planning & Development Act 2024 (as amended).
- b) Articles 6, 9 and 10 of the Planning and Development Regulations 2001 (as amended.)
- c) Section 4 of the Planning and Development Act, 2000 (as amended.)
- d) Section 82 of the Planning and Development Act, 2000 (as amended.)
- e) The plans and particulars submitted to the Planning Authority
- f) The Planning history pertaining to the subject building.

AND WHEREAS *Louth County Council has concluded: -*

- (a) The '*installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms*' **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The carrying out of the development would contravene a condition attached to a permission under the Act (permission ref. 19/490) and as such, contravenes Article 9(1)(a) of the Planning and Development Regulations, 2001 (as amended) and **does not therefore constitute exempted development.**

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

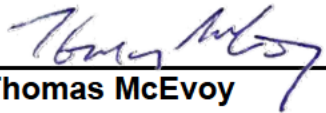
the 'installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms'

at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68 **is development** and **is not exempted development.**

SIGNED: 
Orla Rooney
Assistant Planner

Date: 04/06/2026

ORDER: In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and hereby direct that a **Declaration of Exemption be REFUSED** for development as described above.

Signed: 
Thomas McEvoy
Director of Service

Date: 05/06/2026

To whom this function has been delegated in accordance with the provisions of Section 154 of the Local Government Act, 2001 by Order No. CE.S. 201/25 dated the 14th day of May 2025.



Comhairle Contae Lú
Louth County Council

Martin O'Grady
c/o Ian Heffernan

Via Email Only : [REDACTED]

5th June 2026

Re: Ref. S5 2026/31

Application for Declaration of "Exempted Development" Part 1, Section 5 Planning & Development Act, 2000 (as amended) as to 'Whether the installation of windows in existing openings that was blocked up from previous owners, at the rear of the property, to improve natural light and ventilation to bedrooms located at the rear of the property granted planning no. 19490 is exempted development.'

Dear Sir/Madam,

I wish to acknowledge receipt of your application received on 14th May 2026 in relation to the above. Having assessed all information and enclosures received with the application, the Planning Authority wishes to advise as follows: -

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 whether *the 'installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms'* at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68 is or is not development and is or is not exempt development.

AND WHEREAS the said question was referred to Louth County Council by Martin O'Grady.

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) The definition of "development" in Section 2 of the Planning & Development Act 2024 (as amended).
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations 2001 (as amended.)

Comhairle Contae Lú
Halla an Bhaile
Sráid Crowe
Dún Dealgan
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Féach foláirimh faoi Lú ón gComhairle ag www.mapalerter.ie/Louth
View Council alerts for Louth at www.mapalerter.ie/Louth

- (c) Section 4 of the Planning and Development Act, 2000 (as amended.)
- (d) Section 82 of the Planning and Development Act, 2000 (as amended.)
- (e) The plans and particulars submitted to the Planning Authority
- (f) The Planning history pertaining to the subject building.

AND WHEREAS *Louth County Council has concluded: -*

- (a) The '*installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms*' **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The carrying out of the development would contravene a condition attached to a permission under the Act (permission ref. 19/490) and as such, contravenes Article 9(1)(a) of the Planning and Development Regulations, 2001 (as amended) and **does not therefore constitute exempted development.**

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

the 'installation of windows within existing openings at the rear of the property (that were previously blocked up) for the purposes of improving natural light and ventilation to bedrooms'

at Mayoralty Mill, Mayoralty Street, Drogheda, Co. Louth, A92 WP68 **is development** and **is not exempted development.**

In Summary

A Declaration of Exemption is hereby REFUSED for the works as detailed on the plans and particulars submitted on 14th May 2026.

This decision may be referred by you to An Coimisiún Pleanála for review within 4 weeks of the date of this letter subject to the payment of the appropriate fee.

Yours faithfully,



Brian Duffy
Planning Section