

Louth County Council

**Declaration In accordance with Part IV, Section 57 (2) of the Local Government
(Planning and Development) Act, 2000(as amended).**

REF: DB21-03
Applicant's Name: Pillardale Limited
Status: Owner occupied
Location: 8 and 9 St Laurence Street, Drogheda, Co. Louth

Date of Request for Declaration: 28th October 2021

Recorded Monument under the National Monuments Acts 1930 –2004: No

Zone of Urban Archaeological Potential: Yes

RPS : DB 111 and 112 respectively

NIAH Registration numbers: 13622016 and 13619028 respectively – Regional
Importance

Decision Due Date: 20th January 2022

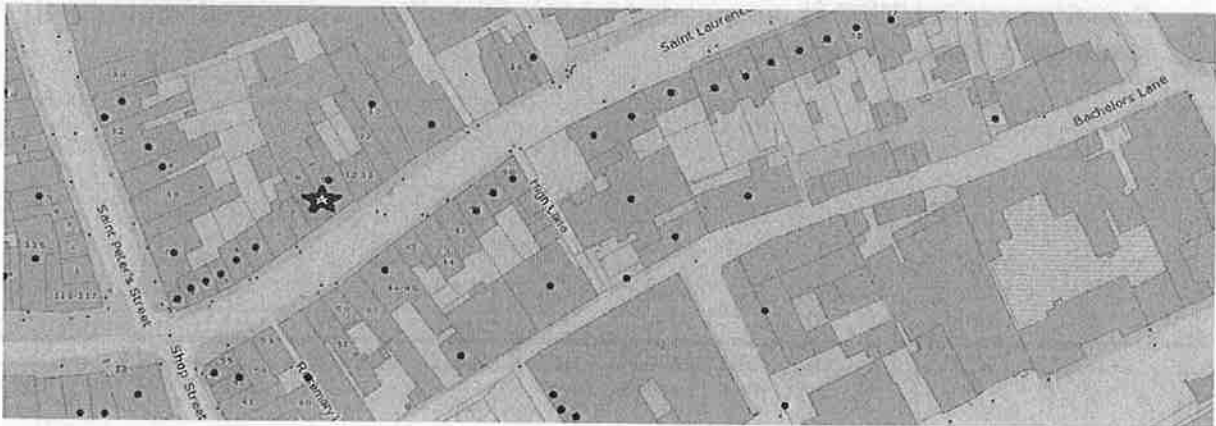
Introduction

The referrer has sought a section 57 declaration as per the Planning and Development Act 2000 as amended in respect of works to a protected structure at Laurence's Street, Drogheda.

Figure 1: Front Façades



Figure 2 Location



Protection Status

Under the Planning and Development Act 2000(as amended), the Record of Protected Structures is set out in the Louth County Development Plan 2021 - 2027.

No. 8 Laurence Street (shop) RPS ID No. DB-111 (NIAH 13622016) is described as a two-bay, four-storey house, shopfront with brackets c. 1900 and as a simple, well-proportioned structure which remains an integral part of the streetscape of Saint Laurence Street

No. 9 Laurence Street (public house) RPS ID No. DB-112 (NIAH 13619028) is a three-bay, three-storey house with traditional shopfront, is a modest house which has been enlivened by an attractive late-nineteenth-century pub front. The timber pub front reveals the skill of the craftsmen of the period.

2. Planning History

File ref. No. 0451023 – No. 8 and No. 9 St Laurence Street –permission was granted subject to 19 conditions for development consisting of:

- Removal of front wall of no. 9 including shop front, rebuild same as existing & new shop front as before.
- Remove existing toilets and store to rear of no. 8 & relocate same, extend existing off-licence at no. 8 & incorporate new coffee dock extend existing beer garden, construct new stores, cold room, enclosed yard, water storage tank enclosure & increase wall height to boundary.
- Refurbish 1st & 2nd fl of no 8 & 9 & change of use from hairdressers & domestic use to licensed premises, toilets, store room, kitchen, canteen, bathroom, changing room & function room & open veranda at rear of 1st fl.
- Change of use of 3rd fl of no. 8 from domestic to office use, refurbish existing roofs where necessary (Protected structures P2 48 & 49 under Drogheda Borough Council's Dev Plan 1999

This permission would not appear to have been implemented.

File Ref. No. 00510149 – No. 8 Laurence Street –permission was granted for the retention and completion of works to shopfront.

Description of the structures:

No. 8

- Attached two-bay four-storey former house, built c. 1830, now in commercial use.
- Shopfront to ground floor.
- Roof hidden by parapet, tooled limestone coping, red brick flat-capped chimneystack. Red brick walling laid in Flemish bond.
- Square-headed window openings, painted smooth rendered reveals and soffits, painted stone sills, painted two-over-one timber sliding sash windows, timber casement windows to third floor.
- Painted timber shopfront, stall risers, pilasters to east and west surmounted by console brackets supporting timber fascia, display window to east, timber and glazed door to shop, timber and glazed door to upper floors.
- Street fronted on northern side of Saint Laurence Street.

No. 9

- Attached three-bay three-storey former house with integral carriage arch, built c. 1830
- Used as public house
- Shopfront to ground floor c. 1890, return to north.
- Roof hidden behind parapet, gutter hidden by parapet, circular cast-iron downpipe. Painted smooth rendered ruled-and-lined walling, channelled quoins, painted steel supporting girder between first and second floors, painted coping to parapet.
- Square-headed window openings, painted tooled stone sills, painted timber two-over-two sliding sash windows.
- Painted timber shopfront comprising stall-riser surmounted by large fixed display windows with leaded overlights, flanked by pilasters; central square-headed door opening flanked by pilasters, plain-glazed overlight, timber sheeted door; square-headed carriage arch to west flanked by pilasters, timber diagonally-sheeted

double doors; pilasters surmounted by foliate console brackets flank shopfront, frieze and cornice.

3. Referral question - Would works materially affect the character of the protected structure and as a result require planning permission:

This Declaration is accompanied by:

- A Structural Report for No. 8 prepared by Molony Millar Consulting Civil and Structural Engineers
- An Interim Structural Report for No. 9 also prepared by Molony Millar Consulting Civil and Structural Engineers
- Architectural Heritage Impact Assessment, Conservation Strategy, Outline schedule of works and Methodology for the structure repair and prevention of endangerment of the buildings prepared for both buildings by John Greene, Conservation Architect (Grade 1)

It is detailed that the buildings have been the subject a Dangerous Structure Notice served by Louth County Council on the 15th September 2021 in respect of the fascia of no. 9 sagging and being in danger of collapsing on footpath.

Legislative Provision

Section 57(1) states 'that notwithstanding Sections 4(1)(h) and any regulations made under Section 4(2), the carrying out of works to a protected structure, or proposed protected structure shall be exempted development only if those works would not materially affect the character of (a) the structure or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Section 68 of the Act - The carrying out of any works specified in a notice under section 59 (1) or 60 (2) shall be exempted development. As noted above a Dangerous Structures Notice has been issued in respect of this site.

4. Assessment

I have reviewed the above report and survey and impact assessment of the proposed works. The structural reports have informed the AHIA.

In respect of no. 8, works that are recommended are

- Removal of vegetation
- Replace rotten rafter ends and timber heads at 3rd floor
- Expose joint ends at all floors to check for rot
- Expose the 1st floor support mechanism for the party wall,

It is considered that No. 9 (the Public House) has failed structurally. As such significant structural interventions are detailed by the engineer and the proposed positions of the interventions are illustrated by Drawings SK01, 02, 03 and 04.

These include:

- Reinforcing existing timber beams with steel channels
- Introduction of additional steel posts to reduce spans
- Steel supports to chimneys
- A new second floor structure comprising of steel beams and joists
- Stitching and tying of walls

I have had regard to the overall interventions proposed in the context of the structures and the schedule of works and methodology. While the works detailed by the engineering reports and the Architectural Heritage Impact Assessment, Conservation Strategy, Outline schedule of works and Methodology for the structure - repair and prevention of endangerment of the buildings are significant, I am satisfied that the works as detailed are required, appropriate and sensitive to the integrity of the protected structure as a whole and would not materially affect the character of the protected structure.

5. Conclusion:

I conclude, that the WHEREAS a question has arisen as to whether the proposed works detailed by the Architectural Heritage Impact Assessment, Conservation Strategy and the proposed Methodology prepared by John Greene would or would not materially affect the character of protected structures or any element of the

structures which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at no. 8 and 9 Laurence Street, Drogheda ,

AND WHEREAS

Pillardale Limited care of Brian Hughes Consulting requested a declaration on the question from Louth County Council on the 28th October 2021

AND WHEREAS Louth County Council in considering this referral, had regard particularly to –

- (a) Section 2 of the Planning and Development Act 2000, as amended,
- (b) Section 3 of the Planning and Development Act 2000, as amended,
- (c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- (d) Section 68 of the Planning and Development Act, 2000 as amended,
- (d) section 77(1) of the Planning and Development Act 2000, as amended,
- (e) the Architectural Heritage Protection Guidelines for Planning Authorities,
- (f) the nature and extent of works set out in the referral question which seeks to address the safety concerns in respect of this structure,

AND WHEREAS Louth County Council has concluded that –

- (i) the stated works to the protected structures comprise of works and are, therefore, development, and
- (ii) the stated works are required to ensure the structural stability of the said structures,
- (iii) the stated works would not materially affect the character of the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest
- (iv) the stated works would consist of the carrying out of works for the maintenance, improvement and alteration of these structures being works which affect the interior of the structure and which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures

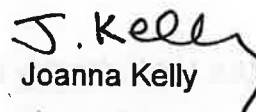
NOW THEREFORE Louth County Council, in exercise of the powers conferred on it by section 57 of the 2000 Act as amended, hereby decides that the proposed works to No. 8 Laurence Street and No. 9 Laurence street as detailed by:

- (1) The Structural Report for No. 8 Laurence Street prepared by Molony Millar Consulting Civil and Structural Engineers,
- (2) The Interim Structural Report for No. 9 also prepared by Molony Millar Consulting Civil and Structural Engineers and,
- (3) the Architectural Heritage Impact Assessment, Conservation Strategy, Outline schedule of works and Methodology for the structure repair and prevention of endangerment of the buildings prepared by John Greene and which include the removal of vegetation, replacement of rotten rafter ends and timber heads at 3rd floor, exposing joint ends at all floors to check for rot and exposing the 1st floor support mechanism for the party wall at number 8 Laurence Street, Drogheda and the reinforcing of existing timber beams with steel channels, introduction of additional steel posts to reduce spans, provision of steel supports to chimneys, provision of a new second floor structure comprising of steel beams and joists and stitching and tying of walls at no. 9 Laurence Street, Drogheda **constitutes development that is exempted development.**


Patricia Hughes


Senior Executive Planner

Date: 7th January 2022


Joanna Kelly

Senior Planner

10th January 2022


Frank Pentony

Director of Services

14/01/2022

LOUTH COUNTY COUNCIL

CHIEF EXECUTIVE'S ORDER

PLANNING & DEVELOPMENT ACT 2000 (as amended)

Section 57 Declaration – Works to a Protected Structure

Chief Executive's Order No:	021/2022
Reference No:	S57 DB21-03
Date Application Received:	28/10/2021
Description of Development:	Works and methodology for the structural repair and prevention of the endangerment of the buildings at No.'s 8 and 9 St. Laurence St., Drogheda
Name of Applicant:	Pillardale Ltd. c/o Brady Hughes Consulting
Location of Development	No.'s 8 and 9 St. Laurence St., Drogheda, Co. Louth

WHEREAS the question has arisen as to whether the proposed works detailed by the Architectural Heritage Impact Assessment, Conservation Strategy and the proposed Methodology prepared by John Greene would or would not materially affect the character of protected structures or any element of the structures which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at no. 8 and 9 Laurence St., Drogheda.

AND WHEREAS Pillardale Limited care of Brian Hughes Consulting requested a declaration on the question from Louth County Council on the 28th October 2021.

AND WHEREAS Louth County Council in considering this referral, had regard particularly to –

- (a) Section 2 of the Planning and Development Act 2000, as amended,
- (b) Section 3 of the Planning and Development Act 2000, as amended,
- (c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- (d) Section 68 of the Planning and Development Act, 2000 as amended,
- (d) Section 77(1) of the Planning and Development Act 2000, as amended,
- (e) The Architectural Heritage Protection Guidelines for Planning Authorities,
- (f) The nature and extent of works set out in the referral question which seeks to address the safety concerns in respect of this structure,

AND WHEREAS Louth County Council has concluded that –

- (i) The stated works to the protected structures comprise of works and are, therefore, development, and
- (ii) The stated works are required to ensure the structural stability of the said structures,
- (iii) The stated works would not materially affect the character of the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest
- (iv) The stated works would consist of the carrying out of works for the maintenance, improvement and alteration of these structures being works which affect the interior of the structure and which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

NOW THEREFORE Louth County Council, in exercise of the powers conferred on it by Section 57 of the 2000 Act as amended, hereby decides that the proposed works to No. 8 Laurence Street and No. 9 Laurence street as detailed by:

- (1) The Structural Report for No. 8 Laurence Street prepared by Molony Millar Consulting Civil and Structural Engineers,
- (2) The Interim Structural Report for No. 9 also prepared by Molony Millar Consulting Civil and Structural Engineers and,
- (3) The Architectural Heritage Impact Assessment, Conservation Strategy, Outline schedule of works and Methodology for the structure repair and prevention of endangerment of the buildings prepared by John Greene and which include the removal of vegetation, replacement of rotten rafter ends and timber heads at 3rd floor, exposing joint ends at all floors to check for rot and exposing the 1st floor support mechanism for the party wall at No. Laurence Street, Drogheda and the reinforcing of existing timber beams with steel channels, introduction of additional steel posts to reduce spans, provision of steel supports to chimneys, provision of a new second floor structure comprising of steel beams and joists and stitching and tying of walls at No. 9 Laurence Street, Drogheda **constitutes development that is exempted development.**

SIGNED:



Patricia Hughes
Senior Executive Planner

Dated:

14/1/22**ORDER:**

In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and I hereby direct that a **Section 57 Declaration of Exemption be Granted** for the works, as described above.

SIGNED:



Frank Pentony
Director of Services

Dated: 14th January, 2022.

To whom this function has been delegated in accordance with the provision of Sections 154 of the Local Government Act 2001 by Order no CE.S.276/2019 dated the 27th day of September, 2019.



Comhairle Contae Lú
Louth County Council

**PLANNING AND DEVELOPMENT ACT 2000
REQUEST FOR SECTION 57 DECLARATION (PROTECTED
STRUCTURE)**

The above Act provides that any works which would affect the character of a protected structure, or a proposed protected structure will require planning permission, even where those works would normally be exempt under Section 4 (1)(h) of the 2000 Act.

As an owner or occupier of a protected structure you are entitled under the above act to request the Council to issue a declaration as to the type of works which may or may not be permitted in your structure. In order to issue this declaration you should supply the following information:

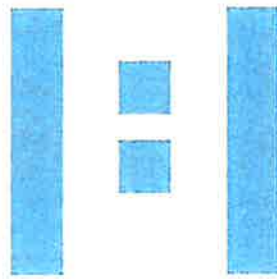
1. Name of Applicant: Pillardale Limited
2. Address of Protected Structure: No.8 & No.9 St Laurence Street, Drogheda, Co.Louth
3. Correspondence address: (if different from 2 above): Brady Hughes Consulting Engineers, 26 Magdalene St, Downtown Drogheda, Drogheda, Co. Louth
4. NIAH Ref No. & Louth RPS Number No.8 – 13622016 – DB 111 / No.9 -13619028 – DB 112
5. Is structure owner occupied or rented? Owner Occupied
6. If rented state name and address of owner: N/A
7. Use of structure (residential, commercial etc.): Commercial / Public House
8. **Site location map** to the scale of 1:1000 clearly identifying the structure and boundaries to which the application refers (subject structure to be outlined in red, overall land holding to be outlined in blue)
9. Has a declaration been sought previously? Not that we are aware of

I wish to apply for a declaration from Louth County Council as to the type of works which need permission in my structure

Signed: Brady Hughes (Agent) Date: 22-10-21
Daytime contact telephone Number: 0419839379

It should be noted that the Council is normally obliged to issue this declaration within three months of the request being made and that you will be contacted within this period to arrange an appointment for a suitably qualified person to carry out a detailed survey of the internal and external features of the structure.

Please return completed form to:
Conservation Office, Planning Dept. Louth County Council,
Town Hall, Crowe St, Dundalk, Co Louth
Email: conservation@louthcoco.ie



MOLONY MILLAR

Consulting Civil and Structural Engineers

8 LAURENCE STREET, DROGHEDA, CO. LOUTH STRUCTURAL REPORT



Revision	Description and Rationale	Originated	Date	Checked	Date
	Structural Report	RG	18.09.2021	KA	18.09.2021
685-153 RG/SD					

Contents

Introduction:.....	3
Findings:	3
Walls:	3
Roof:	3
Floors:	4
Discussion:.....	4
Recommendations:	5
APPENDIX A PHOTOGRAPHS	6

Introduction:

On the instructions of Pillardale Limited, we visited and carried out a visual structural inspection of No. 8 St. Lawrence Street on 15.09.2021. The building adjoins No. 9 St. Lawrence Street which is Peter Mathews Public House (Formerly McPhail's). Both buildings were the subject of a Dangerous Buildings Enforcement Order issued on 16th March 2021.

We have previously issued a structural report on No. 9 which is in a more precarious state.

We were unable to gain access to No. 8 before now as it was infested by flocks of pigeons on the Second and Third Floors. These and the debris have now been removed and the building tidied up.

Findings:

No. 8 is a four storey over basement terraced building of period construction. It is approximately 4.0m wide x 7.40m deep.

Walls:

The front wall is of red brick construction. It appears to be straight with no sign of significant cracking or bulging. There are a number of areas where the pointing has deteriorated and it needs to be repointed. The Ground Floor wall is constructed as a shop front with circle steel columns evident. The make up of the head structure was not revealed.

The rear wall has a smooth render finish. Only the top section of the wall is visible from outside as other ancillary buildings are attached to it.

Roof:

The roof is a single A-Type roof. There is a parapet gutter at the front and a plastic gutter at the rear. The Third Floor is divided into two rooms across the width. One room has a raised tie ceiling. The second room has a raking pitch, i.e. the ceiling follows the rafters. The rafters are 175 x 44 @ 300mm centres. There is sagging evident on the rear slope.

The rafters spring from the top of the wall. Unless there is a purlin at the ridge, there is potential for a horizontal thrust at the top of the walls, although this is not evident.

Floors:

All of the floors apart from the basement floor are of timber construction. The First, Second and Third Floors have joists which span from front wall to a spine wall to the rear wall. The joists are generally 175 x 40mm @ 300mm centres and 175 x 55mm @ 300mm centres at First Floor level. The front span is c. 4.07m and to the rear span c. 3.30m.

The spine wall is not present at Ground Floor level. It is replaced by a single steel circular column. We assume that there is a beam structure overhead but this was not visible during the time of our visit. This column appears to sit on a masonry wall in the basement.

The Ground Floor joists are deeper – 225 x 44 @ 300mm centres.

They span from left to right. There is a masonry wall in the basement running from the rear to the front roughly at mid width. It stops under the location of the steel column. The timber joists span onto this wall and in the front of the building they span from party wall to party wall.

The stairs have worn threads but are generally straight and in sound condition. The floor at the stairs partition has sagged by c. 25mm at both the First and Second floors.

Discussion:

No. 8 has been in disuse for some time and is in need of urgent structural repair works, especially at roof level. Failure to do so will allow the building to deteriorate in a rapid manner due to the ingress of water.

Apart from the works to the roof the rest of the building is in need of remedial works throughout. However, the rest of the building at this stage is structurally sound and in no immediate danger.

We have not carried out a structural analysis of the building because it would not be amenable to the current Building Regulations. We noted that the Second and Third Floor joists in the front room are

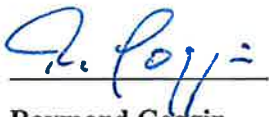
marginally overstressed for domestic loading by calculation, based on a timber grading of SC3. However, the floors are firm underfoot and the timber is possibly of a higher grade.

As stated above we did not uncover the support mechanism for the spine walls at First Floor apart from the steel circular column at Ground Floor level. It would be prudent to expose this for clarification and reassurance.

Recommendations:

We recommend the following to be carried out:

1. Remove vegetation and repoint the front wall.
2. Replace the rotten rafters ends and timber heads at Third Floor level.
3. Insert ridge purlin, if not present.
4. Expose the joint ends at all floors to check for rot.
5. Expose the First-Floor support mechanism for the party walls.



Raymond Goggin
Chartered Engineer

APPENDIX A PHOTOGRAPHS



FIGURE 1 FRONT ELEVATION REMOVE VEGETATION AND REPOINT



FIGURE 2 REAR ELEVATION SAG IN ROOF



FIGURE 3 THIRD FLOOR ROTTEN RAFTERS AND HEAD



FIGURE 4 THIRD FLOOR ROTTEN RAFTERS AND HEAD



FIGURE 5 THIRD FLOOR ROTTEN RAFTERS AND HEAD



FIGURE 6 SECOND FLOOR



FIGURE 7 SECOND FLOOR PARTITION SAGGED



FIGURE 8 SECOND FLOOR PARTITION SAGGED 25MM



FIGURE 9 FIRST FLOOR



FIGURE 10 FIRST FLOOR PARTITION SAGGED



FIGURE 11 FIRST FLOOR PARTITION SAGGED 25MM



FIGURE 12 GROUND FLOOR SPINE WALL REPLACED BY COLUMN



FIGURE 13 STAIRS



FIGURE 14 STAIRS



FIGURE 15 HOLE IN STAIRS FIRST FLOOR HALF LANDING



FIGURE 16 BASEMENT



MOLONY MILLAR
Consulting Civil and Structural Engineers

PETER MATHEWS PUBLIC HOUSE
9 LAURENCE STREET, DROGHEDA, CO. LOUTH
INTERIM STRUCTURAL REPORT



Revision	Description and Rationale	Originated	Date	Checked	Date
	Interim	RG	05.08.2021	ST	05.08.2021
685-153 RG/SD					

Contents

Introduction:	3
First Floor Structure:	3
Second Floor:	4
Comment:	4
Structural Proposals:	5
First Floor:	5
Second Floor:	5
Roof:	6
Walls:	6
Further Investigation:	6
APPENDIX A SKETCHES	7
APPENDIX B PHOTOGRAPHS	8

Introduction:

This interim report follows on from our Preliminary Report dated 30.03.2021. Further opening up works have been carried out which are beginning to reveal the true structural nature of the buildings. The findings are concerning.

First Floor Structure:

The First-Floor structure comprises three spans across the width of the building. There is a central timber beam in the bar running from the rear to the front. It spans from a 100mm diameter steel/C.I. post at the rear onto a 50mm circular post in the middle and onto a 100mm circular post on the front. The beam (Beam 1) is 200mm wide x 150mm deep. It supports two spans of First Floor joists and a timber stud partition with lathe and plaster.

The First-Floor joists comprise a 150mm x 100mm deep timbers at 400mm centres. They span from the party wall with No. 8 onto the 300mm masonry wall in the passageway onto timber Beam 1 in the bar and onto the party wall with No. 10. (Beam 1) has settled and there is a fall of 100mm in the First Floor towards the partition sitting on (Beam 1).

At the rear of the bar there is a timber beam (Beam 2) which is 350mm x 175 mm deep. It spans at right angle to (Beam 1) and shows the support of the 100mm post. It supports the rear masonry wall of the bar at First Floor level. (Beam 2) has settled by 100mm to the left.

There is another timber beam (Beam 3) which spans parallel to (Beam 2) and is 400mm x 150mm deep. It spans from party wall to a 152 x 152 mm steel column. It supports (Beam 4). This beam 250mm x 150mm deep spans from the rear onto (Beam 3) and supports the First-Floor joists over.

There is a second beam (Beam 5) also spanning from the rear. It is also 250mm x 150mm deep and it supports a masonry wall over.

The beam (Beam 6) at the rear of the passageway has not been exposed yet.

The front of the bar has a timber beam over the doors and window. It is 250mm x 250mm deep. It supports the masonry wall over and spans onto intermediate steel posts. Some which have yet to be uncovered. The entrance to the passageway has been reinforced with steel channel beams and posts.

There are two chimney breasts on the rear wall which start at First Floor level and do not penetrate the roof. It is not clear how they are supported. They appear to sit on timber joists only.

Please refer to SK01

Second Floor:

Two-thirds of the second-floor structure has been removed. There is a timber beam 300 mm x 250mm above the lathe and plaster partition. It spans from front to rear and supports 100mm x 44 mm timber joists at 350mm centres on one side.

Please refer to SK03

Comment:

This building has been poorly built. The structure appears to have been erected on an ad hoc basis with a variety of timber section sizes. This together with significant interventions in the past such as the removal of most of the Second Floor has impacted negatively on the building.

Of particular concern are:

- Timber beams supporting masonry walls.
- Chimney breasts sitting on timber floors.

The First-Floor has settled by 100mm. That this building is still standing is not amenable to structural calculations. It would appear that the building has lurched into a sort of structural stability acting as a whole unit where for example the walls may be arching.

In our opinion this building has failed structurally. In any other circumstances, we would be recommending that it be demolished. Because it is a protected structure we are instructed to preserve as much as possible and our proposals are outlined in the following section.

Structural Proposals:

The proposals represent a significant structural intervention on the building. In principle they are:

- Reinforcing existing timber beams with steel channels.
- Introduction of additional steel posts to reduce spans.
- Steel supports under chimney Breasts.
- New Second Floor structure comprising steel beams and joists.
- Stitching together walls
- Tying walls to floor.

Please refer to sketches in Appendix A

First Floor:

- Two steel channels are to be bolted through each of the timber beams 1,2,3,4, and 5.
- 100mm diameter steel posts to be inserted under Beams 1,3,4 & 5.
- The junctions of the Beam 1 and Beam 2 to be reinforced.
- Steel beams to be inserted under the Chimney Breasts.

Please refer to Sketch 02.

Second Floor:

- Insert two new steel beams from front to rear.
- Insert new Floor Joists spanning parallel to the front wall.

Please refer to Sketch 04

Roof:

- Details to be developed when access is provided.

Walls:

- Stitch together front and side walls.
- Insert galvanised steel straps from front and rear walls at First and Second Floors.
- Repair/replace internal heads
- Repair stitch settled masonry.

Further Investigation:

The above represents proposals based on opening up works to date. Further opening up works/investigations are required to complete the works. These are:

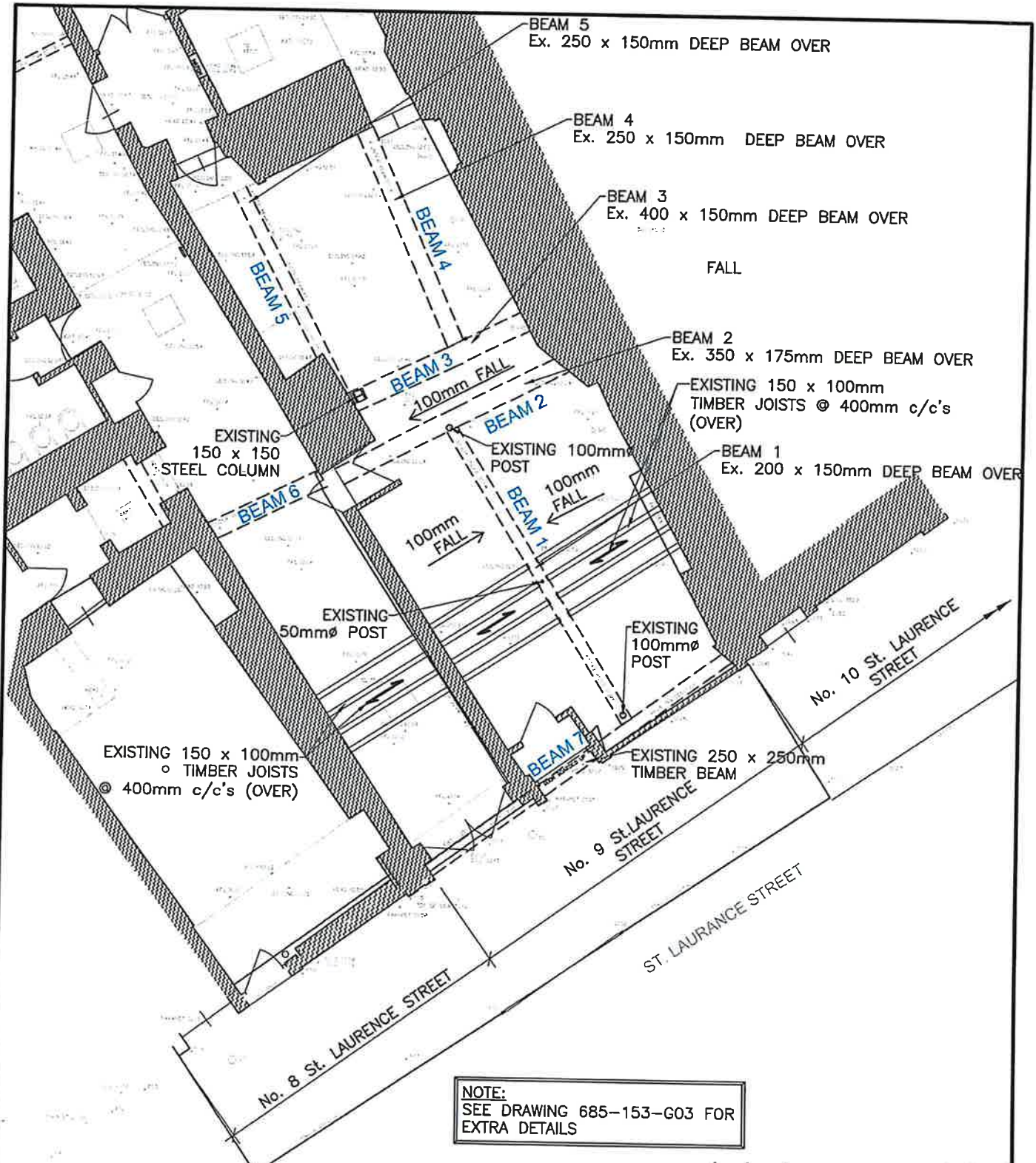
- Subsoil investigation for the new foundations.
- Opening up of the floors at the rear.
- Access to the roof.

This concludes the interim report at this stage.



Raymond Goggin
Chartered Engineer

APPENDIX A SKETCHES



NOTE:
SEE DRAWING 685-153-G03 FOR
EXTRA DETAILS

EXISTING GROUND FLOOR PART PLAN (SHOWING FIRST FLOOR STRUCTURE OVER)

SCALE 1:100

NOTES:
MOLONY MILLAR CONSULTING CIVIL
& STRUCTURAL ENGINEERS
THIS DRAWING AND ANY DESIGN HEREON IS THE
COPYRIGHT OF THE CONSULTANTS AND MUST NOT
BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

ALL DRAWINGS REMAIN THE PROPERTY OF
THE CONSULTANTS.

FIGURED DIMENSIONS ONLY TO BE TAKEN FROM
THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

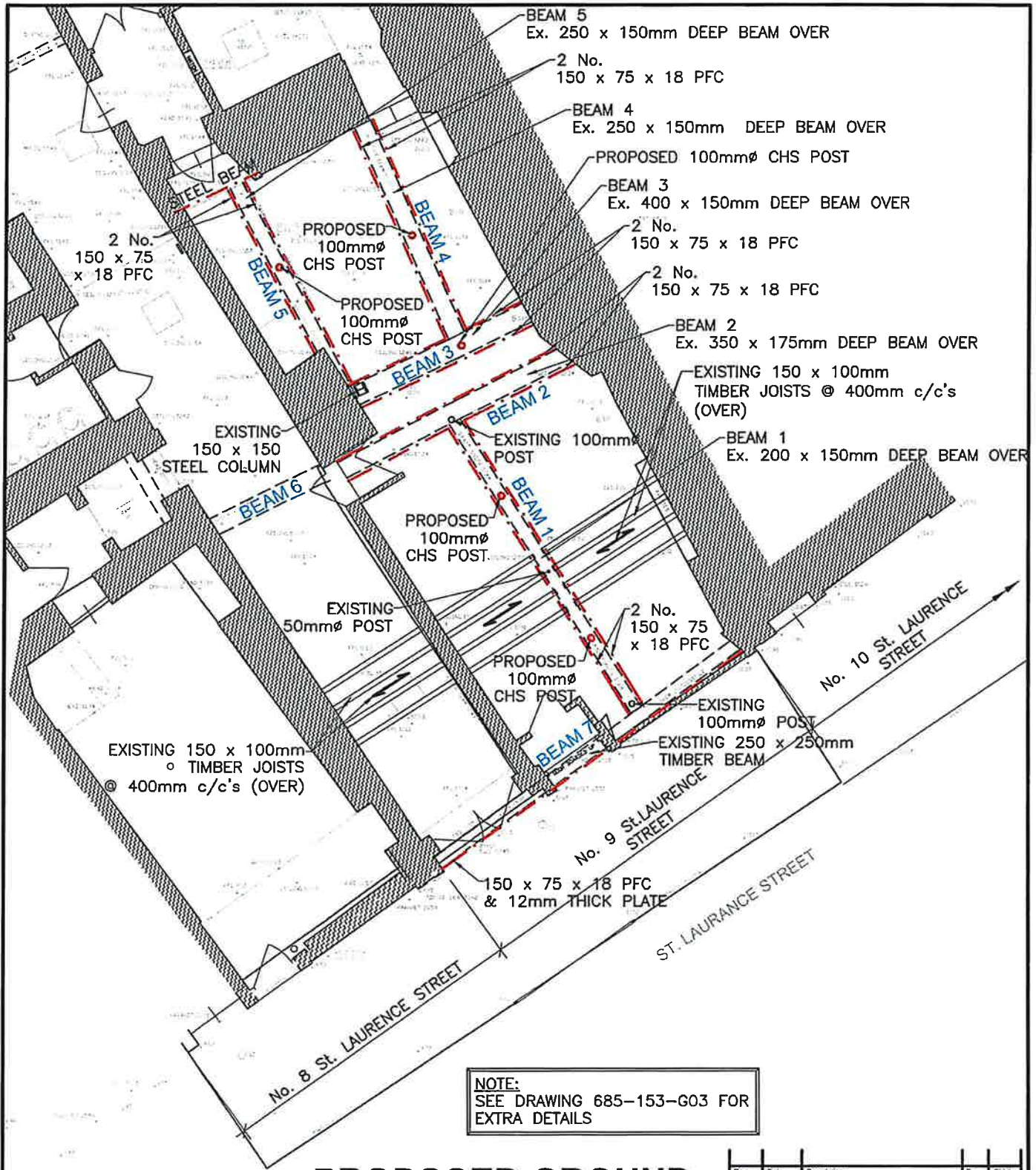
CONSULTANTS TO BE INFORMED OF ANY
DISCREPANCIES BEFORE WORK PROCEEDS.

Rev	Date	Description	By	Chkd
Client				
Project Title PETER MATTHEWS PUB, 9 St. LAURENCE STREET, DROGHEDA, Co. LOUTH				
Drawing Title EXISTING GROUND FLOOR PART PLAN SHOWING FIRST FLOOR STRUCTURE OVER				
Author				
Scale AS NOTED @ A. Date AUGUST 2021				
Drawn GAAAN GOCGAN Chkd RAY GOCGAN				
Cad File: S:\600685-153\G.A.				
Drawing Status Job Number Drawing Number Revision				
REPORT 685-153 SK01				

MOLONY MILLAR
Consulting Civil and
Structural Engineers

Riverbank House
Ballyboden Road
Rathfarnham
Dublin 14
Ireland

Tel (353-1) 4930211
email info@molonymillar.ie
Web www.molonymillar.ie



NOTE:
SEE DRAWING 685-153-G03 FOR
EXTRA DETAILS

**PROPOSED GROUND
FLOOR PART PLAN
(SHOWING FIRST FLOOR
STRUCTURE OVER)**

SCALE 1:100

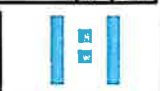
NOTES:
MOLONY MILLAR CONSULTING CIVIL
& STRUCTURAL ENGINEERS
THIS DRAWING AND ANY DESIGN HEREON IS THE
COPYRIGHT OF THE CONSULTANTS AND MUST NOT
BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

ALL DRAWINGS REMAIN THE PROPERTY OF
THE CONSULTANTS.

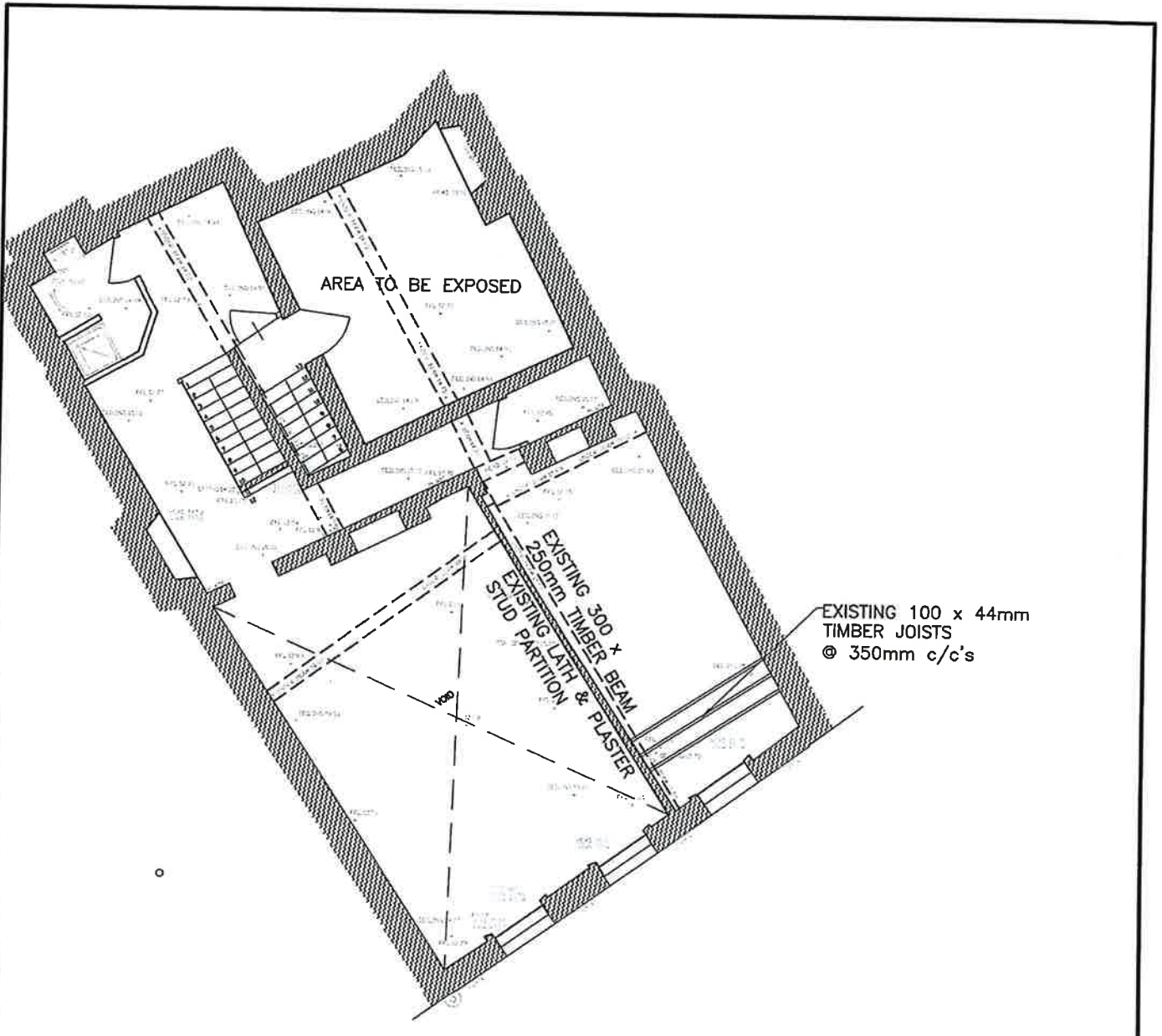
FIGURED DIMENSIONS ONLY TO BE TAKEN FROM
THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

CONSULTANTS TO BE INFORMED OF ANY
DISCREPANCIES BEFORE WORK PROCEEDS.

Rev	Date	Description	By	Chkd
Client				
Project Title PETER MATTHEWS PUB, 9 St. LAURENCE STREET, DROGHEDA, Co. LOUTH				
Drawing Title PROPOSED GROUND FLOOR PART PLAN (SHOWING FIRST FLOOR STRUCTURE OVER)				
Architect				
Scale AS NOTED @ A1		Date AUGUST 2021		
Drawn: DANAH GOUGH		Chkd: RAY GOUGH		
Cad File: S:685-153-G03.A				
Drawing Status		Job Number		Revision
REPORT		685-153		SK02



MOLONY MILLAR
Civil, Structural & Mechanical
Engineers
Riverbank House
Ballyboden Road
Rathfarnham
Dublin 14
Ireland
Tel (353-1) 4930211
email info@molonymillar.ie
Web www.molonymillar.ie



**EXISTING FIRST FLOOR PART PLAN
(SHOWING SECOND FLOOR STRUCTURE OVER)**

SCALE 1:100

NOTE:
SEE DRAWING 685-153-G05 FOR
EXTRA DETAILS

NOTES:
MOLONY MILLAR CONSULTING CIVIL & STRUCTURAL ENGINEERS
THIS DRAWING AND ANY DESIGN HEREON IS THE COPYRIGHT OF THE CONSULTANTS AND MUST NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANTS.

FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

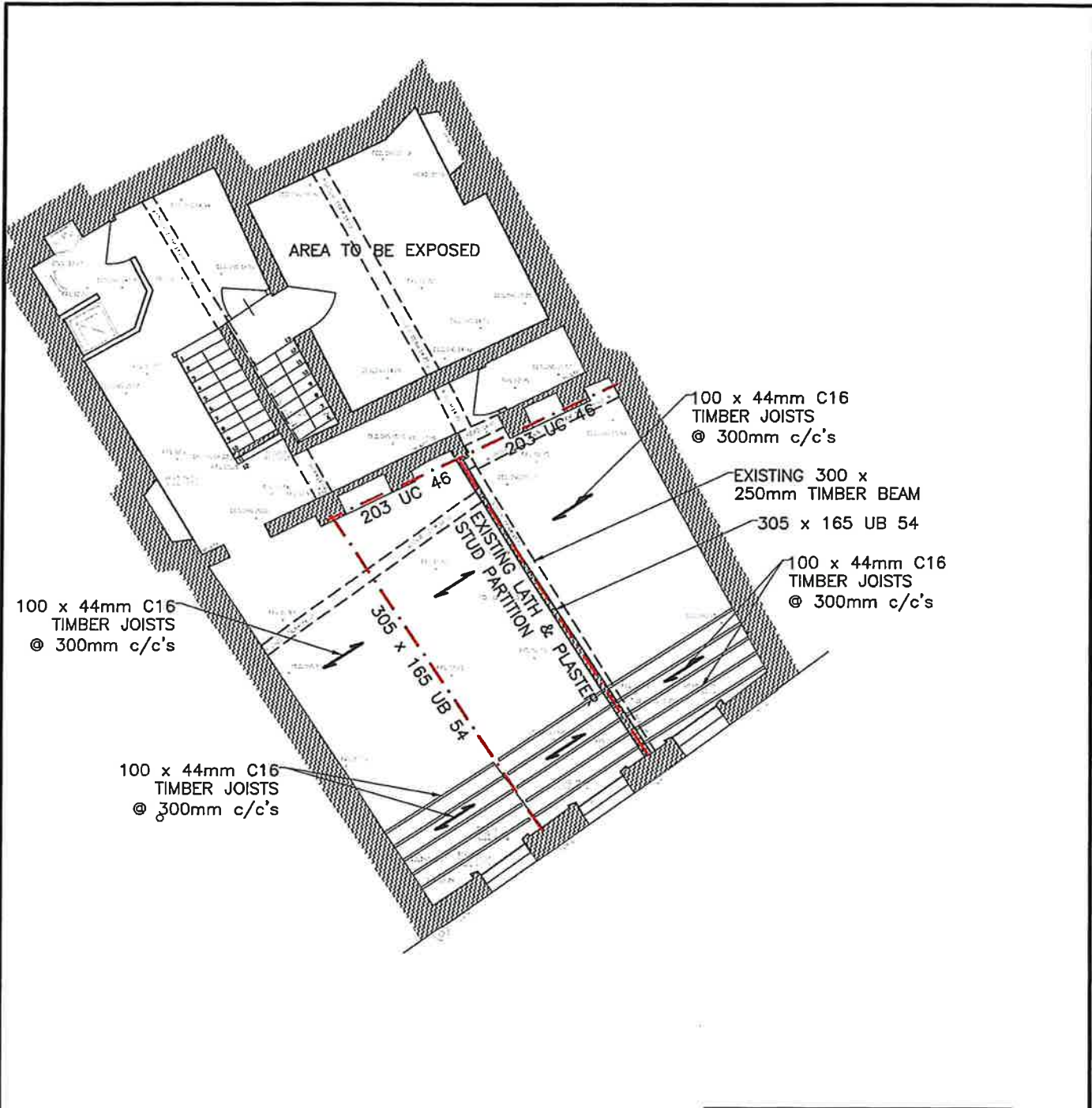
CONSULTANTS TO BE INFORMED OF ANY DISCREPANCIES BEFORE WORK PROCEEDS.

Rev	Date	Description	By	Ckd
Client				
Project Title PETER MATTHEWS PUB, 9 ST LAURENCE STREET, DROGHEDA, Co. LOUTH				
Drawing Title EXISTING FIRST FLOOR PART PLAN SHOWING SECOND FLOOR STRUCTURE OVER				
Architect				
Scale AS NOTED @ A		Date AUGUST 2021		
Drawn OARAN O'CONNOR		Chkd RAY O'CONNOR		
Cad File: S:\600685-153\G.A.				
Drawing Status		Job Number		Drawing Number
REPORT		685-153		SK03

MOLONY MILLAR
Consulting Civil and
Structural Engineers

Riverbank House
Ballyboden Road
Rathfarnham
Dublin 14
Ireland

Tel (353-1) 4930211
email info@molonymillar.ie
Web www.molonymillar.ie



**PROPOSED FIRST FLOOR PART PLAN
(SHOWING SECOND FLOOR STRUCTURE OVER)**

SCALE 1:100

NOTE:
SEE DRAWING 685-153-G05 FOR
EXTRA DETAILS

NOTES:
MOLONY MILLAR CONSULTING CIVIL & STRUCTURAL ENGINEERS
THIS DRAWING AND ANY DESIGN HEREON IS THE COPYRIGHT OF THE CONSULTANTS AND MUST NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANTS.

FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

CONSULTANTS TO BE INFORMED OF ANY DISCREPANCIES BEFORE WORK PROCEEDS.

Rev	Date	Description	By	Chkd
Client				
Project Title PETER MATTHEWS PUB, 9 ST. LAURENCE STREET, DROGHEDA, Co. LOUTH				
Drawing Title PROPOSED FIRST FLOOR PART PLAN SHOWING SECOND FLOOR STRUCTURE OVER				
Architect				
Scale: AS NOTED @ A Date: AUGUST 2021				
Drawn: CARRAN GOOGAN Chkd: RAY GOOGAN				
Cad File: S:\600\685-153\G.A.				
Drawing Status		Job Number	Drawing Number	Revision
REPORT		685-153	SK04	

MOLONY MILLAR
Consulting Civil and
Structural Engineers

Riverbank House
Ballyboden Road
Rathfarnham
Dublin 14
Ireland

Tel (353-1) 4930211

email info@molonymillar.ie
Web www.molonymillar.ie

APPENDIX B PHOTOGRAPHS

Peter Mathews Public House
9 Laurence Street, Drogheda, Co. Louth
Interim Report



Figure 1 Timber Beam



Figure 2 Timber Beams



Figure 3 Timber Beam



Figure 4 Timber Beam

Peter Mathews Public House
9 Laurence Street, Drogheda, Co. Louth
Interim Report



Figure 5 Timber Beam



Figure 6 Timber Beam

Peter Matthew's Off-license and Pub Nos. 8 and 9 St. Laurence Street, Drogheda, Co Louth.



Figure 1: Peter Mathews Off-license, no. 8 (LHS) and Peter Mathews Pub no. 9 (RHS) St. Laurence Street.

Architectural Heritage Impact Assessment, Conservation Strategy, Outline schedule of works and Methodology for the structural repair and prevention of the endangerment of the buildings.

Prepared by:

John Greene B.Arch., MUBC. MRAI.
RIAI accredited Conservation Architect Grade 1
The Square, Donabate, Co. Dublin.
T: 01 8085884, Mob: 086 1661384
Email: john.greenearchitect@gmail.com

September 2021.

Commissioned by:

Ray Goggin BE C.Eng MIEI Eur.Ing RCon.EI
Chartered Engineer
Managing Director
Molony Millar Consulting Engineers
Riverbank House, Ballyboden Road
Rathfarnham, Dublin 14.

On behalf of by:

Pillardale Ltd. owner of the property.

Contents

Executive Summary

<i>1. Introduction</i>	<i>1</i>
<i>2. Methodology.....</i>	<i>9</i>
<i>3. Context, Architectural Description and Cartographic Review.....</i>	<i>11</i>
<i>4. Schedule of Significant Architectural Features.....</i>	<i>16</i>
<i>5. Conservation Strategy, Outline schedule of works and Methodology for the structural repair and prevention of the endangerment of the buildings.....</i>	<i>20</i>
<i>6. Assessment of impact.....</i>	<i>24</i>
<i>7. References/sources.....</i>	<i>25</i>
<i>Appendix:1. Photographic record.....</i>	<i>26</i>
<i>2. Conservation methodology and outline schedule of works</i>	<i>44</i>

Executive Summary

Peter Matthews Off-license no. 8 and Peter Matthews Pub no. 9 St. Laurence Street are situated within the historic core of Drogheda on the north side of the River Boyne. Saint Laurence Street is part of a long curved street formed by West Street to the west and St. Laurence Street to the east, originally a mediaeval street that follows the curve of the River Boyne.

Both buildings are in the classical urban vernacular style of the 18th C, reworked in the 19th C with their regular two-bay window openings over their 19th C shop fronts. Both historic buildings and their significant features are to be retained and conserved, later modern extensions of no heritage value are to be removed.

Both buildings are Protected Structures (LCC RPS refs: DB_111 and 112) and are within an Architectural Conservation Area.

The interiors have been reworked, the bar and snugs etc. on the ground floor of no. 9 are significant survivals of an 19th C vernacular pub, surviving examples of which are becoming rare. The only other significant interior features that have survived are the windows casings with moulded architraves, two-over-two paned sash windows, a few doorcases with very few surviving doors and moulded architrave surrounds. The staircase of no. 8 dates from the 18th C.

The buildings have been the subject of a dangerous building notice as the fascia of no. 9 sagged and was in danger of collapsing on to the footpath. The building was examined by the consultant structural engineer, the reports are available and show that major works are required to no. 9 to make the building safe, and works are required to no. 8 to repair the roof and floor joists resting on the front wall to prevent the building from being endangered.

The Proposed Works

The proposed works, which are referred to in detail later in the report consist in summary as follows:

The works to no. 8 St Laurence St. to make it safe and prevent it from being endangered:

- Secure the buildings and provide necessary propping to allow access throughout the building and support the floors and roof where the timbers have perished.
- Temporarily support and repair the structure of the building to make it safe in accordance with the consultant structural engineer's drawings and details.
- Carefully remove and store surviving sound quarry slates on timber pallets in a steel container.
- Repair/replace the perished parts of the floor timbers.
- Repair/replace the perished roof timbers.
- Repair/re-slate the roofs to prevent the ingress of water.
- Protect and repair the staircase.

- Protect and repair of the surviving significant features of the building.
- Provide a temporary fire alarm.

The works to no. 9 St Laurence St. to make it safe and prevent it from being endangered:

- Secure the buildings and provide necessary propping to allow access throughout the building and support the floors and roof where the timbers have perished.
- Temporarily support and repair the structure of the building to make it safe in accordance with the consultant structural engineer's drawings and details.
- Protect the bar and snugs etc. on the ground floor.
- Replace the first floor.
- Survey and prepare measured drawings of the shopfront and all the internal bar fittings and store in safe storage.
- Carefully remove and store sound surviving quarry slates on timber pallets in a steel container.
- Repair/replace the perished parts of the floor timbers.
- Repair/replace the perished roof timbers.
- Repair/re-slate the roofs to prevent the ingress of water.
- Protect and repair of the surviving significant features of the building.
- Provide a temporary fire alarm.

Conclusion

The proposed works will ensure the survival and conservation of the Protected Structures on the site and their surviving historic fabric including their contribution to the historic streetscape of Drogheda.

1. Introduction

This report, prepared John Greene B.Arch., MUBC. MRIAI. RIAI Grade 1 Conservation Architect provides advice on the restoration and conservation of the surviving historic fabric of Peter Matthews Pub and Off-license Nos. 8-9 St. Laurence Street, Drogheda, Co Louth, Protected Structures (LCC RPS refs: DB_111 and 112)

The report was commissioned by Mr Ray Goggin on behalf of Pillardale Ltd., owner of the building.

The Architectural Heritage Impact Assessment assesses the impact of the works on making the Protected Structure safe and Conservation Report advises on the repair of the historic fabric under a section 57 of the *Local Government (Planning and Development) Act 2000* and the report is issued solely for this purpose.

Acknowledgements:

I would like to thank the Irish Architectural Archive.



Figure 2: General location of subject site (approximate outline in red) (Source: archaeology.ie)

Peter Mathews Pub and Off-license Nos. 8-9 St. Laurence Street, Drogheda is a protected structure (LCC RPS refs: DB_111 and 112). This architectural and built heritage assessment has been compiled in order to examine the known architectural heritage resource of the subject site.

Work on the above building commenced immediately on foot of a dangerous buildings notice as follows:



Comhairle Contae Lú
Louth County Council

REGISTERED POST

18th March 2021

Parolen Limited
2a Ashbourne Court
Ashbourne
Co. Meath

DB 2021/06

(m. P. 1)

RE: Local Government (Sanitary Services) Act, 1964
Location of Dangerous Structure: Peter Mathews Public House, 8 Laurence Street, Drogheda, Co. Louth (Protected Structure DB-112)

Dear Sir/Madam,

I refer to the above and enclose a Dangerous Structure Notice. This notice refers to the dangerous condition of the above property and orders the scheduled works to be carried out within the timescale specified in the notice.

Yours faithfully,

Cathriona Kieran
Staff Officer
Compliance (Planning Enforcement)
Phone - 042 9324118 or 042 932994
Email - planningenforcement@louthcoco.ie

Correspondence in this matter should be addressed to:
Compliance (Planning), Louth County Council, Town Hall, Dundalk, Co. Louth.

Comhairle Contae Lú
Malla an Búisí
Sráid Crowe
Dún Dealgan
Contae Lú
A91 W20C

Louth County Council
Town Hall
Crowe Street
Dundalk
County Louth
A91 W20C

Local 1890 202303
☎ 353 42 9335457
☎ 353 42 9334565
✉ info@louthcoco.ie
🌐 www.louthcoco.ie

Cuirtear áille roimh chomhfhreagras Gaeilge - Correspondence in Irish is welcome

DANGEROUS STRUCTURE NOTICE
PURSUANT TO SECTION 3(1)
OF THE LOCAL GOVERNMENT (SANITARY SERVICES) ACT 1964

To: **Parolen Limited**
2a Ashbourne Court
Ashbourne
Co.Meath

The County Council of the County of Louth is the sanitary authority for the County of Louth (hereinafter 'the Sanitary Authority')

The Sanitary Authority considers that the structure situate at Peter Matthews Public House, 9 St Laurence Street, Drogheda, Co.Louth (Protected Structure DB-112) within the functional area of the Sanitary Authority is a dangerous structure within the meaning of section 1 of the Local Government (Sanitary Services) Act 1964 in that there is a Dangerous Structure arising from a collapsing facade, which present a danger to any person at Peter Matthews Public House, 9 St Laurence Street, Drogheda, Co.Louth

TAKE NOTICE that pursuant to section 3(1) of the Local Government (Sanitary Services) Act 1964 the Sanitary Authority being of the opinion that works are necessary to prevent the said structure from being a dangerous structure requires you, the owner of the said structure, to carry out the following works on the said structure:

1. Engage a Building Surveyor (with relevant conservation and structural experience) to assess the structural stability of the timber facade and to identify, design and oversee works required to ensure the stability of the facade. All works shall be in accordance with a detailed Conservation Method Statement and timeframe (including a photographic survey and details of all sound salvaged materials) drawn up by the Building Surveyor, submitted and to be agreed in writing by the Authority. This Report shall be submitted to the Authority for approval within 14 days of the date of the service of this Notice. As this property is a protected structure it is important to note that any submitted works also requires approval from the Minister for Arts, Heritage, Gaeltacht and the Islands.
2. Following the inspection by the Surveyor, it must be determined if a pedestrian exclusion zone is required in the interest of safety to persons. If required this exclusion zone must be implemented within 3 days of the initial inspection and be of sufficient construction to prevent access by persons to the frontage of this property.
3. Carry out and complete the agreed works within the approved timeframe and have the works signed off by the Building Surveyor that the work was done in accordance with the Conservation Method Statement and that the facade no longer represents a danger to the public.

4. While repairs are underway the walls behind the façade shall be examined to determine if works to the walls are required.

TIME FOR COMPLIANCE:

The above outlined actions shall be implemented forthwith and completed no later than, the periods of time specified in the Notice, from the date of the service of this notice.

WARNINGS:

You are hereby warned that it is an offence under Section 3(4) of the said Act of 1964 not to comply with the terms of this Notice and upon summary conviction for such offence you may be liable to a Class C Fine.

You are further warned that if you do not comply with the terms of this Notice the Sanitary Authority may apply to the District Court under Section 3(5) of the said Act of 1964 for an order directing you to carry out the works specified in this Notice within such time as the Court considers reasonable and it may specify in the order and in accordance with the terms of the notice, the works specified in the notice and authorise the sanitary authority to carry out the works if you do not comply with the provisions of the order or authorise the Sanitary Authority to carry out the works specified in this Notice and prohibit the use of the structure or any part of it or prohibit the use of the structure or any part of it for such purpose or purposes as may be specified in the order. You are hereby warned that it is an offence under Section 3(6) of the said Act of 1964 not to comply with an order of the District Court made under Section 3(5) of the said Act of 1964 and that upon summary conviction may be liable to a Class C Fine.

You are hereby warned that pursuant to Section 3(7) of the Act the Sanitary Authority will hold you liable for and will seek refund of all costs and expenses incurred (including all legal costs in relation to any District Court proceedings brought under Section 3(5) of the said Act of 1964) by the Sanitary Authority under section 3 of the said Act of 1964 in relation to the structure to which this Notice relates. If the Sanitary Authority's costs and expenses are not paid by you within fourteen days of you receiving a demand in writing for payment, the Sanitary Authority will seek to recover the amount claimed in the demand together with interest at the rate of five per cent per annum from the date when the demand was given until payment is made as a simple contract debt in civil proceedings.

Where any costs or expenses incurred by the Sanitary Authority have not been paid, the Sanitary Authority may apply under section 3(8)(a) of the said Act of 1964 to the District Court for an order prohibiting you from repairing or letting the structure, or carrying out of any works on the site on which the structure stood until all costs and expenses (including the costs of any such court application) are paid to the Sanitary Authority. You are hereby warned that it is an offence under Section 3(8)(b) of the said Act of 1964 not to comply with

an order of the District Court made under Section 3(8)(a) of the said Act of 1984 and that upon summary conviction a Class C Fine may be imposed by the District Court.

Dated this 16th day of March, 2021

Signed: _____


Frank Pentony
Director of Services

Compliance (Planning Enforcement)
Louth County Council
Town Hall
Dundaik
Co. Louth

Part of the fascia of the shop front was removed to examine the structure concealed behind. An examination of the beam supporting the front of façade and how it was tied back led to the recommendation that major structural works will be required to make the building safe.

Part of the front fascia and the bar counter and fittings had to be surveyed, photographed in position moved to safe storage to enable the structural repair work to be carried out.

The schedule of works included later in this report together with the repairs included in the structural engineer' report are essential repairs and represent the minimum reasonable intervention necessary to prevent the endangerment of the Protected Structure.

2. Methodology

This report is based on a programme of desktop research, site inspection and desk-based assessment. A desktop study assessment has been carried out in order to identify all designated architectural heritage structures and other undesignated cultural heritage assets within the study area. The Record of Protected Structures (RPS) and the National Inventory of Architectural Heritage (NIAH) were the main sources consulted for assessing the recorded architectural heritage resource. In addition, the following sources were consulted as part of the desktop study:

- *Cartographic Sources* - The detail on cartographic sources can indicate past settlement and land use patterns in recent centuries and can also highlight the impact of modern developments. The cartographic sources examined for the study areas include the Down Survey (1650s), the 1st edition of the 6-inch Ordnance Survey (OS) maps (surveyed and published in the 1830s-40s) and the 25-inch OS maps (surveyed and published 1887-1913).
- *Development Plans* - The local authority development plans relevant to the study area was consulted as part of this assessment. These plans outline the local authorities' policies for the conservation of the archaeological and architectural heritage resource and include the Record of Protected Structures (RPS) and any designated Architectural Conservation Areas (ACAs). The relevant development plans for the study area are the *Louth County Development Plan 2011 - 2017*.
- *National Inventory of Architectural Heritage* - The function of the National Inventory of Architectural Heritage ('NIAH') is to record built heritage structures within the Republic of Ireland and to advise local authorities in relation to structures of interest within their areas. The NIAH commissions surveys of sites of architectural significance to assist in evaluating structures to be included in the RPS. Listing on the NIAH does not necessarily carry any statutory protection but does highlight the culturally significant aspects of the structure which ought to be conserved.

ASSESSMENT

The report includes an assessment of the likely impacts on the building throughout two zones, as follows:

Impact on the Architectural Heritage of the Protected Structure on the site.
Impact on Protected Structures in the vicinity of the site.

Terms used to describe the quality of the impacts are as follows:

Positive Impact: A change that improves the quality of the environment.

Neutral Impact: A change that does not affect the quality of the environment.

Negative Impact: A change that reduces the quality of the environment.

Survey

The property was inspected on the 8th July and 4th October 2021, notes and photographs taken, the building described and features identified. The property was evaluated to identify the importance of the buildings in Architectural Terms and to determine the important elements and items to be preserved using criteria set out by Architectural Heritage Protection Guidelines for Planning Authorities Department of the Environment Heritage and Local Government. (DEHLG, 2014). There was only limited research of the property's history. The Report includes a conservation methodology, which is not a detailed specification, for this, more detailed inspections are required. It was based on a visual inspection from the ground, no opening up was carried out and it cannot take account of work covered up. The report is to be read in conjunction with the survey and Architects' drawings. The results of the site inspection are detailed below and extracts from the photographic record are presented in the photographic record.

3. Context, Architectural Description and Cartographic review

Location

Peter Matthews pub and Off-license is situated at nos. 8-9 St. Laurence Street within the historic core of Drogheda on the north side of the River Boyne.

Saint Laurence Street is part of a long curved street formed by West Street to the west and St. Laurence Street to the east, originally a mediaeval street that follows the curve of the River Boyne.



Figure 3: Extract from the Down Survey map 1650. (Source: <http://downsurvey.tcd.ie/down-survey-maps.php>)

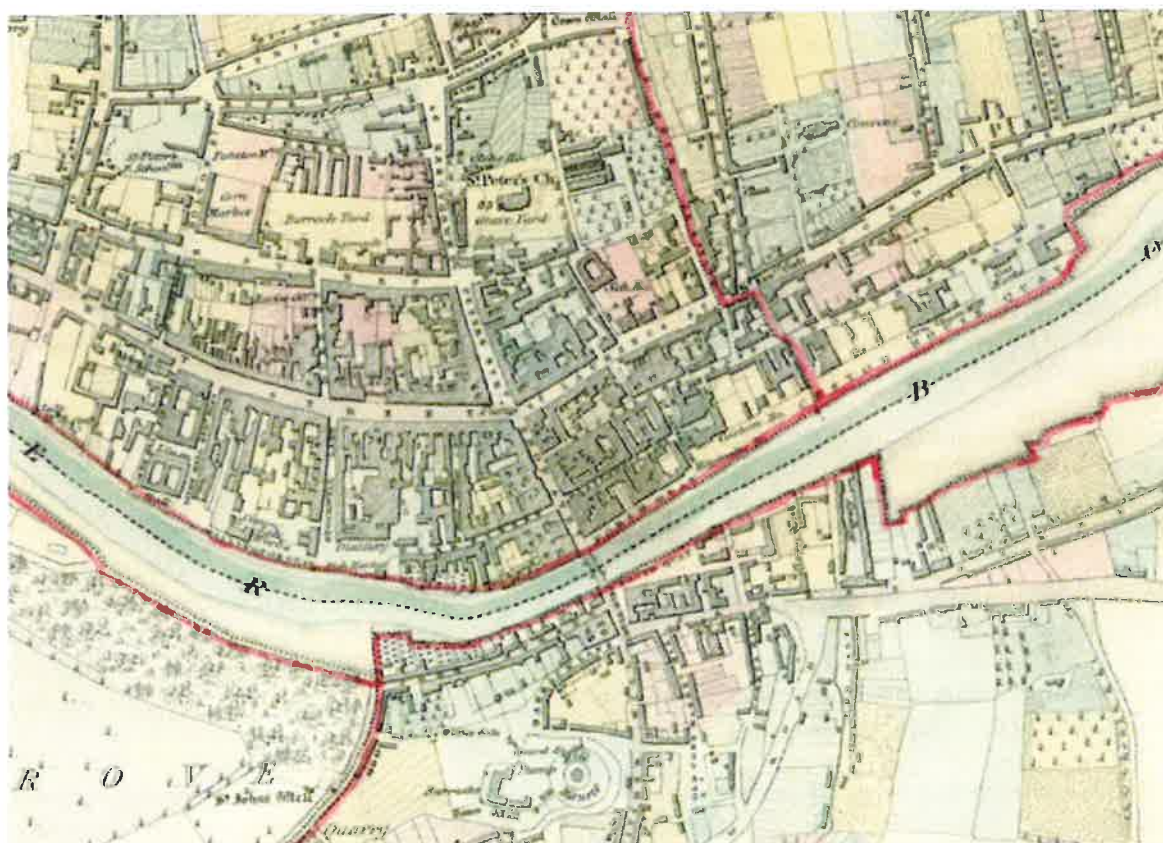


Figure 4: Extract from the 1st edition of the 6-inch Ordnance Survey (OS) maps (surveyed and published in the 1830s-40s)

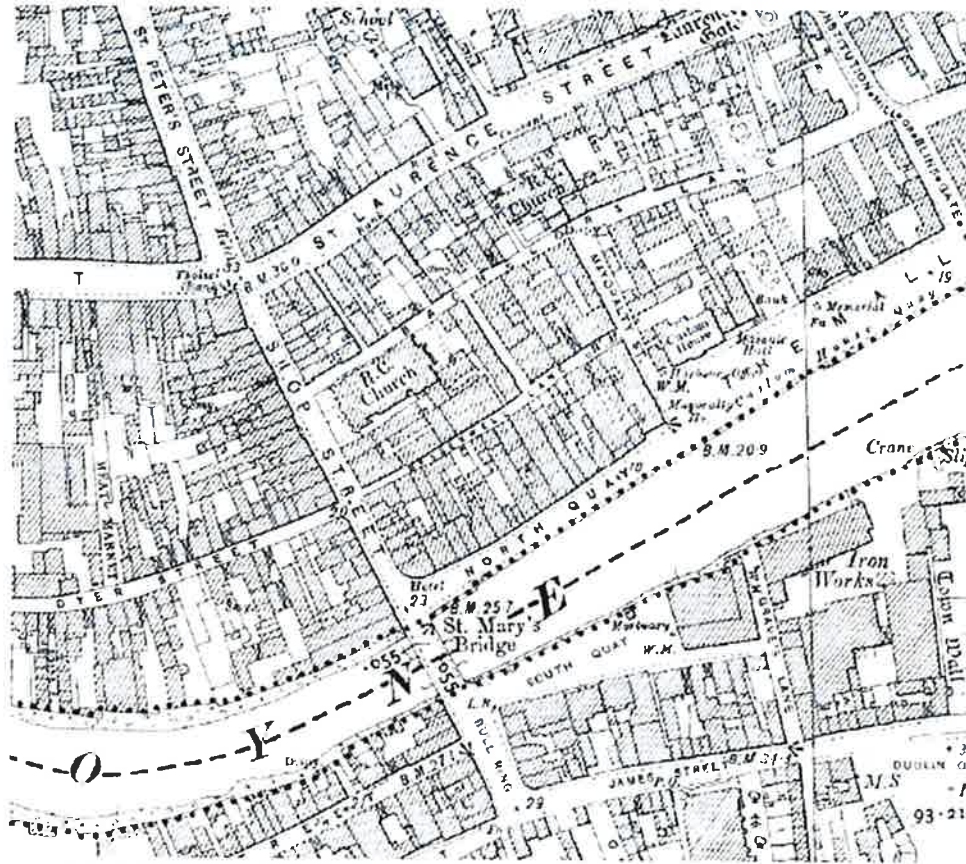


Figure 5: Extract from the 25-inch OS maps (surveyed and published 1887-1913).

Historical Background

Drogheda traces its origin to the Norse, who established a trading port here under Thorgestr (Turgesius) in 911, as they did in other centres along the east coast. After the invasion of the Anglo-Normans in the 12th Century control passed to them and they built a motte castle and a bridge across the Boyne before the close of the 12th cent.

The History of Drogheda and its environs by John D'Alton (1792-1867) is a two-volume work that covers the history of Drogheda from ancient times to the 19th century when Drogheda became an important industrial town.

Prehistoric monuments and early Christian ruins show Drogheda's was settled for thousands of years. Drogheda or Droichead Átha or 'bridge of the ford' refers to the River Boyne flowing through the town. In the 12th century after the Norman invasion, Drogheda was divided in Drogheda-in-Meath and Drogheda-in-Oriel. Oriel or 'Uriel' refers to what later became County Louth.

In the 12th century Hugh De Lacy built a hilltop stronghold known as Millmount Fort. Drogheda, surrounded by walls, became a part of the English Pale. The Irish Parliament was established in 1297 and Drogheda occasionally played host. In 1412 the two towns were united, and Drogheda was designated a 'County Corporate,' styled as 'the County of the Town of Drogheda.' It remained a separate borough until the creation of Lough County Council in the 19th century.

The English Reformation transformed the enmity between the Gaelic Irish and English settlers into a religious one. After Gaelic defeat at the Battle of Kinsale, the plantation of Ulster with Protestant settlers began. In 1641 this led to a Catholic rebellion during which the town of Drogheda was besieged. In 1649, Oliver Cromwell besieged a combined Royalist and Catholic garrison.

They refused to surrender and were massacred. Cromwell gained notoriety however by the standards of the day fortified towns which refused to surrender were given no quarter.

In the late 17th century Ireland became the battleground between the Jacobite and Williamite forces. Both sides met at Oldbridge on the River Boyne upriver from Drogheda. It was a decisive Williamite victory that led to a Jacobite surrender 1691. An Anglo-Irish Protestant elite dominating Ireland until the late 19th century and they persecuted Irish Catholics until Catholic Emancipation in 1829.

In the early 19th century major new industries arrived in Drogheda such as the Drogheda Steam Packet Company which began regular shipping services to Liverpool. Textiles and brewing were also important. By 1844 Drogheda had a rail link with Dublin. Apart from the more industrialised Protestant dominated northeast, the rest of Ireland lagged behind the industrial cities of Britain .

After the publication of D'Alton's book, Ireland was ravaged by the Great Irish Potato Famine from 1845 to 1852. Many of the rural Catholic Gaelic Irish poor in County Louth died from hunger and disease or emigrated. Relief committees established to feed the poor were overwhelmed . In 1845, the Ottoman Sultan Abdülmecid decided to contribute £10,000 to relieve the plight of Irish farmers. Queen Victoria had sent only £2,000 and so demanded the Sultan send only £1,000. The Sultan sent three ships full of food to the port of Drogheda.

There are a considerable number of medieval remains in the town. Only a few isolated fragments survive of the town wall, mostly on the South bank of the Boyne; of the medieval gates only 2, St Laurence's Gate and the Butter Gate, remain. St Laurence's Gate (St Laurence St), the finest surviving town-gate in Ireland, is a splendid 13th-cent. structure consisting of two lofty, battlemented circular towers connected by a loop-holed curtain. Actually, it is not the St Laurence's Gate proper, but only the barbican which stood before the gate on the outer edge of the moat. In the northern part of the town there survives fragments of two of the town's five medieval friaries. In Upper Magdalene St. was the Magdalene Steeple, central bell-tower (1496) of the church of the Dominican friary of St Mary Magdalene founded in 1224 by Lucas de Netterville, Archbishop of Armagh, who was buried there in 1227. It was in this friary that Richard II received the submission of the Irish rulers in 1395. In Old Abbey Lane (off the W. end of West St) are some remains (including the 15th-cent. central tower) of the church of the Augustinian friary of St Mary d'Urso, founded in 1206 by Ursus de Swemole on the site of an old Irish foundation.

St Peter's Protestant Parish Church (William St) is the second successor (1748) of the church in whose steeple about 100 men held out against Cromwell until he burned it about their ears. The classical tower and spire to the design of the Architect Francis Johnston.

The fine 18th-cent. houses of Drogheda Grammar School, one of them originally the residence of Lord Chief Justice Singleton stood close to St Laurence's Gate. The 18th C Tholsel (corner of West St and Shop St) is an attractive small classical building with a cupola. The Cornmarket (Fair St) and the Market Hall are also by Francis Johnston.

The first edition Ordnance survey map (1840-) shows the historic core of Drogheda at the end of the 18th century. As can be seen is a large town for the time centred on the River Boyne with its sheltered port, a considerable distance from the sea, with the lines of former medieval streets following the curved line of the river.

Its quays and port buildings are to the east and along the river, its main streets West Street, St Laurence Street follow the line of the river and are dissected by St Peter's and Shop Street approached from its originally single bridge Saint Mary's Bridge. Typically, it's distilleries, industrial buildings and markets are in close proximity to its housing, schools, convents and shopping with its churches taking prominent positions and its army barracks in defensive positions surrounding the town. Saint Laurence Street follows the line of one of the of medieval Streets with buildings built and rebuilt over the centuries.



Figure 6: Peter Mathew's Pub with its rendered front and fascia with a large deflection.

Legal & Policy Framework

Protection of architectural heritage is provided for through a range of legal instruments that include the *Heritage Act (1995)*, the *Architectural Heritage (National Inventory) & National Monuments (Misc. Provisions) Act (1999)*, and the *Planning and Development Act (2000)*.

The National Inventory of Architectural Heritage (NIAH) was established under the *Architectural Heritage Act (1999)*, to record architectural heritage structures within the State and to advise local authorities in relation to structures of architectural heritage significance within their administrative areas.

The conservation principles of care and protection of architectural heritage and the facilitation of the listing of significant buildings of architectural merit are set out in Part IV of the *Planning and Development Act (2000)*. This requires Local Authorities to maintain a Record of Protected Structures (RPS) of structures with special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest, to be included in City/County Development Plans. In addition, Local Authorities must provide for the preservation of townscapes etc. through designation of Architectural Conservation Areas (ACAs). Any changes that materially affect the character of a protected structure require planning permission.

Architectural Background

The Renaissance style was the principal architectural influence adopted from Europe in the eighteenth century. The theories of Andrea Palladio (1508-80) were a primary influence in classical architecture of the time. It is unlikely that any other architect has such a wide influence over so many countries over such a long period of time. His work has been valued for centuries as the finest example of High Renaissance calm and harmony. The classical style used classical proportions and regularity within a geometric order. In Drogheda the later 18th C and 19th C streets followed the lines of the earlier medieval streets. The smaller buildings or urban vernacular houses such as Peter Mathew's Pub adopted this style albeit in a more simplified manner taken from the Great Houses in the local area. The classical style continued to be used in the 19th C as can be seen on Laurence Street with the reduced classical proportions of its urban vernacular buildings.

Internally, joinery is detailed in classical vernacular manner.

Architectural Description

The National Inventory of Architectural heritage has described the buildings as follows:

Peter Matthews Off-License, 8 Saint Laurence Street, MONEYMORE, Drogheda, LOUTH. (NIAH ref: 13622016)

Attached two-bay four-storey former house, built c. 1830, now in commercial use. Shopfront to ground floor. Roof hidden by parapet, tooled limestone coping, red brick flat-capped chimneystack. Red brick walling laid in Flemish bond. Square-headed window openings, painted smooth rendered reveals and soffits, painted stone sills, painted two-over-one timber sliding sash windows, timber casement windows to third floor. Painted timber shopfront, stall risers, pilasters to east and west surmounted by console brackets supporting timber fascia, display window to east, timber and glazed door to shop, timber and glazed door to upper floors. Street fronted on northern side of Saint Laurence Street.

Appraisal

This simple, well-proportioned structure remains an integral part of the streetscape of Saint Laurence Street. The scale, form and materials utilised in its construction are in keep with its neighbours.

The adjoining building:

Peter Matthews Pub, 9 Laurence Street, MONEYMORE, Drogheda, LOUTH. (NIAH ref: 13619028)

Attached three-bay three-storey former house with integral carriage arch, built c. 1830, now used as public house. Shopfront to ground floor c. 1890, return to north. Roof hidden behind parapet, gutter hidden by parapet, circular cast-iron downpipe. Painted smooth rendered ruled-and-lined walling, channelled quoins, painted steel supporting girder between first and second floors, painted coping to parapet. Square-headed window openings, painted tooled stone sills, painted timber two-over-two sliding sash windows. Painted timber shopfront comprising stall-riser surmounted by large fixed display windows with leaded overlights, flanked by pilasters; central square-headed door opening flanked by pilasters, plain-glazed overlight, timber sheeted door; square-headed carriage arch to west flanked by pilasters, timber diagonally-sheeted double doors; pilasters surmounted by foliate console brackets flank shopfront, frieze and cornice. Street fronted.

Appraisal

This modest house has been enlivened by the attractive late-nineteenth-century pub front. The timber pub front reveals the skill of the craftsmen of the period, for example the finely carved and elaborate console brackets and the leaded overlights of the display windows, which all add to the architectural and artistic quality of the structure.

4. Schedule of Significant Architectural Features

Peter Matthews Off-License, 8 Saint Laurence Street.

No 8 is intact in plan form, profile and the fenestration of its front facade. The building has been altered and extended over time, but largely remains intact. The building dates from the 18th C and retains some of its original internal features. The building is in poor condition and will require considerable work to conserve it and prevent it from becoming endangered. The later extensions to the rear have also been greatly altered and are considered of no architectural merit.

The following is a schedule of surviving internal significant features on their condition.

Peter Matthew's Off-license No. 8 St. Laurence Street

Floor	Room	Ceiling	C. Rose	Cornice	Walls	Floor	Door Sur	Doors	W Casing	Window Sur	Fire Sur	P.Rail Dado Skirting	Stairs	Condt. Remarks
Ground	Front													No features of note.
	Rear													No features of note.
First	Stairs													
	Front	L&P	----	P run	PP	Boarded	----	----	2	2-2/2	----	----	----	
	Rear	----	----	----	PP	Boarded	1	----	1	1-2/2	----	----	----	
	Stairs	As before												
Second	Front	----	----	----	PP	Boarded	1	----	2	2-2/2	----	----	----	
	Rear	----	----	----	PP	Boarded	----	----	1	1-2/2	----	----	----	
	Stairs	As before												
Third/ attic	Front	Boarded	----	----	Boarded	Boarded	----	----	----	----	----	----	----	Derelict
	Rear													No features of note.
	Stairs	As before												

P Mod = Plaster Modern. L&P = Lath and Plaster. P run = plain run S&C = Sand and cement. PP = Plain Plaster. NFN = No Features of Note. 4/P = 4 panel door. 6/6 = 6 over 6 paned sash window. R = Reasonable. Ci= Cast Iron. ----= no feature

Peter Matthews Pub, 9 Laurence Street.

No 9 is intact in plan form and profile only in part and the fenestration of its front facade. The building has been altered and extended over time, part of the second floor has been removed. The building dates from the 18th C and 19th C and retains few of its original internal features. The building is in very poor condition and will require major works to conserve it and prevent it from becoming endangered. The later extensions to the rear have also been greatly altered and are considered of no architectural merit.

The following is a schedule of surviving internal significant features on their condition.

Peter Matthew's Pub No. 9 St. Laurence Street

Floor	Room	Ceiling	C. Rose	Cornice	Walls	Floor	Door Sur	Doors	W Casing	Window Sur	Fire Sur	P.Rail Dado Skirting	Stairs	Condt. Remarks	
Ground	Corridor	P mod			Brick			Boarded							
	Bar	19 th C and 20 th C bar and snugs with boarded ceilings moulded timber fittings.													
	Front	L&P	----	----	PP & brick	Boarded	----	1-6p Early	2	2-2/2	----	----	----	No features of note.	
	Rear	----	----	----	----	----	----	1	1-2/2	----	----	----	----	No features of note.	
First	Rear return	----	----	----	----	----	----	----						No features of note.	
	Stairs to Gnd Fl													No features of note.	
	Front	----	----	----	L&P	Boarded	----	----	2	2-2/2	----	----	----	2 nd Fl removed	
Second	Rear return	----	----	----	----	Boarded	----	----	----	----	----	----	----	No features of note.	
	Stairs	Early thin timber handrail, Doric balusters, threads, risers and closed string.													

P Mod = Plaster Modern. L&P = Lath and Plaster. P run = plain run S&C = Sand and cement. PP = Plain Plaster. NFN = No Features of Note. 4/P = 4 panel door. 6/6 = 6 over 6 paned sash window. R = Reasonable. Ci= Cast Iron. ----= no feature.

5. Conservation Strategy, Outline schedule of works and Methodology for the structural repair and prevention of the endangerment of the buildings.

A programme of conservation works shall be carried out to make the structure of the building safe in accordance with the structural engineer's report and drawings and to prevent the endangerment of the building. An inspection has been carried out and detailed inspections shall be carried out prior to the commencement of the programme of conservation works and a committed group of conservation experts will be engaged to advise on conservation aspects of the scheme throughout all stages, detail design, tender documentation and work on the site.

Conservation Philosophy

The proposed conservation work will be carried out in accordance with the principles of the International Charters and will have regard for the *Architectural Heritage Protection Guidelines for Planning Authorities Department of the Environment Heritage and Local Government*. (DEHLG, 2014). The Charters and the guidelines accurately describe the strategy to be adopted for a project such as the conservation of these buildings, but they cannot dictate every decision, since many of the clauses are open to interpretation.

General Principals

- 1 Authentic structure and fabric of importance to maintain the structure's special character are to be respected and retained including early alterations of interest.
- 2 All existing sound fabric and features are to be retained and protected.
- 3 It is the objective to carry out works limited to the minimum intervention essential for the survival of the property and its conversion to new use.
- 4 It is intended in all cases where possible to carry out repairs rather than replacement, which will only be carried out where the fabric has perished.
- 5 It is intended that unsatisfactory alterations that disfigure earlier work of greater merit should be reversed.
- 6 New repairs are to be discernible but sympathetic to the visual integrity of the structure.
- 7 Alterations are as far as possible to be reversible.

Experience

Contractors tendering for the works shall demonstrate proven experience in the conservation of historic structures and shall employ only trades persons with experience in the repair of historic fabric. Conservation works may be carried out by subcontractors specialising in the particular type of repair but they shall also be required during the contract to demonstrate relevant experience but that shall not relieve the main contractor of responsibility for all of the works.

Condition Generally

This report on the condition of the buildings is based on a visual inspection from the areas that it was possible to gain access to, as previously noted, and was superficial in nature, no opening up was carried out and it cannot take account of work covered up nor can it say that concealed fabric is free from defect, it is not a report on the structure, nor does it include an examination for the presence of asbestos. The condition of the structure is covered in the Structural Report on the building prepared by Maloney and Millar Consulting Engineers.

Programme

The contractor shall submit a programme demonstrating how the conservation works shall be carried out.

*Peter Matthews Off-License, 8 Saint Laurence Street and
Peter Matthews Pub, 9 Laurence Street.*

Enabling works

The works to no. 8 St Laurence St. to make it safe and prevent it from being endangered:

- Secure the buildings and provide necessary propping to allow access throughout the building and support the floors and roof where the timbers have perished.
- Temporarily support and repair the structure of the building to make it safe in accordance with the consultant structural engineer's drawings and details.
- Carefully remove and store surviving sound quarry slates on timber pallets in a steel container.
- Repair/replace the perished parts of the floor timbers.
- Repair/replace the perished roof timbers.
- Repair/re-slate the roofs to prevent the ingress of water.
- Protect and repair the staircase.
- Protect and repair of the surviving significant features of the building.
- Provide a temporary fire alarm.

The works to no. 9 St Laurence St. to make it safe and prevent it from being endangered:

- Secure the buildings and provide necessary propping to allow access throughout the building and support the floors and roof where the timbers have perished.
- Temporarily support and repair the structure of the building to make it safe in accordance with the consultant structural engineer's drawings and details.
- Protect the bar and snugs etc. on the ground floor.
- Replace the first floor.
- Survey and prepare measured drawings of the shopfront and all the internal bar fittings and store in safe storage.
- Carefully remove and store sound surviving quarry slates on timber pallets in a steel container.
- Repair/replace the perished parts of the floor timbers.
- Repair/replace the perished roof timbers.
- Repair/re-slate the roofs to prevent the ingress of water.
- Protect and repair of the surviving significant features of the building.
- Provide a temporary fire alarm.

Externally

Roof covering description

Single-pitched with a parapet to the front and eaves to the rear.

Roof covering repair

Note: Extreme care must be taken, and the roof propped as the roof is in a dangerous state.

- Mark the gauge of the slates on a timber batten, carefully remove the slates and store sound slates in sections on timber pallets.
- Re-slate reusing sound Welsh quarry slates with matching slates sourced to make up for losses graduated from eaves to ridge to match the original slating on 50 x 25 mm impregnated timber battens using 100 mm approved copper nails. Replace artificial slates with approved Spanish quarry slates.
- Replace the missing and perished gutters in cast iron or cast aluminium to match the originals.

- Repair/replace the cast iron down pipes in cast iron or cast aluminium to match the originals.
- Replace lead valleys lead valley gutters and flashings in Code 7 lead in accordance with the Lead Development Associations printed instructions.

Roof structure description

The roof structure consists of timber rafters and timber ceiling joists.

Roof structure repair

- Arrange safe access to examine the original roof construction.
- Replicate the original roof structure with necessary strengthening in accordance with the consultant structural engineer's details.
- Replace all perished wall plates, rafters, ceiling joists et cetera.

Chimney stacks description

The building shares one brick chimney stack.

Chimney stacks repair

Examine the chimney stacks in detail and repair or replace to match the existing in all respects.

- Replace all lead flashings with code 7 lead flashing in accordance with the Lead Development Association's printed details.
- Repair all cracks with lime mortar.

External walls description

The external walls are masonry and brick rendered with rich-cement render externally and plastered with lime/sand internally.

External walls repairs

- Repair all cracks with lime mortar.
- All repairs are to match the existing.
- Remove all perished render and re-render in lime/sand ruled and lined.

Window descriptions

Timber sliding sash windows.

Window repairs

- Examine all windows in detail.
- Repair/replace surviving windows that are in reasonable condition to match the existing.
- Reglaze all windows where necessary with thin double glazing.

Shopfronts and entrance door description

The Shopfronts are decorative timber shopfront with paneled pilasters, carved consoled timber diagonally boarded twin doors.

Shopfront and entrance door repairs

- Survey and prepare measured drawings of the shopfront and all the internal bar fittings (no. 9), return them to the building when the structure and repairs have been completed.
- Take profiles of the existing perished timbers and repair/replace to match the originals in all respects.

Internal Generally

Demolition

- Carefully remove all perished floors and and/or parts of floors and roof structure, remove electrical and mechanical installations.

- Replace and upgrade all floors and ceilings to structural and fire safety standards to match the existing.

Ceiling descriptions

The ground floor ceiling of no. 8 is a modern replacement.

The ground floor ceilings of no. 9 are compartmented and lined with varnished tongued, grooved and rounded boarding.

Ceiling repairs

- Repair and upgrade all ceilings to fire safety standards to match the existing.

Wall lining description

The walls were lined with lime plaster, much of which has perished.

Wall lining replacement

- Carefully remove perished and delaminated existing lime plaster.
- Re-plaster the external walls with 30 mm Diathonite Evolution lime plaster in accordance with the manufacturer's printed instructions.

Damp treatment

- Where there is evidence of rising damp at ground level walls should receive a damp-proof treatment by an approved specialist, which is compatible with the historic fabric of the building and in accordance with the conservation methodology.

Services and ducts

All services and Ducts are to be in positions approved by the conservation architect.



Figure 7: Ground floor bar.(3777)



Figure 8: First and second floors and note the second floor is missing.(3754)

5. Assessment of impact

This modest house has been enlivened by the attractive late-nineteenth-century pub front. The timber pub front reveals the skill of the craftsmen of the period, for example the finely carved and elaborate console brackets and the leaded overlights of the display windows, which all add to the architectural and artistic quality of the structure.

The interior of the pub is the survival of public house of the 19th C in a vernacular style with a small palette of simple materials that is of some sophistication.

The proposed repair is considered to have a **Direct Positive Impact** as it will save a building of heritage importance from endangerment.

NIAH and RPS Structures located within 200m of subject site.

The proposed development is considered to have **No predicted impact** on the NIAH and RPS Structures located within 200m of subject site.

7. References/sources

Published works

- Lewis, S. 1837. *Topographical Dictionary of Ireland*. London: Samuel Lewis & Son.
- Louth County Council (2011) *Louth County Development Plan 2011 – 2017*. Louth County Council

Internet resources

Department of Culture, Heritage and the Gaeltacht's Historic Environment Viewer
<http://webgis.archaeology.ie/historicenvironment/>

Heritage Map Viewer - various interactive heritage maps
<https://heritagemaps.ie/WebApps/HeritageMaps/index.html>

Geohive Mapviewer Resource
<http://www.geohive.ie/>

National Inventory of Architectural Heritage (NIAH)
<http://www.buildingsofireland.ie/Surveys/Buildings/>

Buildings of Ireland
http://buildingsofireland.fusio.net/niah/images/survey_specific/fullsize/22817021_1.jpg

<https://www.britainexpress.com/History/english-gardens.htm>

<http://archiseek.com/2009/john-skipton-mulvany-1813-1870/>

Appendix: 1. Photographic record



Figure 9: Detail of shop front no. 9. Note decorative carved consoles. (3819)



Figure 10: Detail of shop front no. 9. Note decorative carved consoles (3932)






Figure 11: View from the rear of nos. 8 and 9. note the later expansions. (3730)



Figure 12: Modern stores at rear of no. 8. (3738)

Interiors of no. 8

<p><i>Off licence at No 8. (5260)</i></p>	 A photograph of the interior of an off-licence. The room is small and cluttered. On the left, there is a blue bar counter. In the center, a large mural depicts several people in a historical or industrial setting. To the right, a doorway leads to another room. A chandelier hangs from the ceiling, and a wooden pillar supports the structure. Various items, including a blue bucket and some papers, are scattered on the floor.
<p><i>Stairs to the first floor. (5248)</i></p>	 A photograph showing a set of wooden stairs leading up to the first floor. The stairs are made of dark wood and have a simple metal railing on the right side. The walls are dark wood paneling.
<p><i>Toilets half landing. There are no features of note. (5247)</i></p>	 A photograph of a small, narrow toilet half landing. It features a toilet and a sink. The walls are plain and light-colored. The space is cramped and appears to be a simple, functional area.

<p><i>Half landing between ground and first floor. (5246)</i></p>	
<p><i>First floor rear room. (5244)</i></p>	
<p><i>First floor rear room (5245)</i></p>	

First floor front room. (5240)



First floor front room (5241)



First floor front room ceiling. No plane run corners and perished ceiling. (5242)



Second floor front room (5234)



Second floor front room (5236)



18th century staircase. Staircase with thin mahogany romped handrail, dark balusters, threads and risers and open string. (5231)



*Third (attic floor) front room. No
perished roof and derelict state.
(5226)*






Third (attic floor) rear. (5227)



Third (attic floor) Front. (5228)



<p><i>Third attic floor rear room (5229)</i></p>	
<p><i>Stairs to basement. There are no features of note. (5263)</i></p>	
<p><i>Basement. There are no features of note. (5267)</i></p>	

Interiors of no. 9

Entrance corridor, the plaster has been removed. (3745)



Modern extension. There are no features of note. (3740)



View of bar room from the front. (3722)



Snug. (3773)



Snug. (3800)



*View of the bar from rear.
(3777)*



Rear of the bar. (3776)



Counter. (3778)



Behind the counter. (3794)



Detail of beam surround and cast-iron column. (3939)



Tongued, grooved and rounded boarding of ceiling. (3947)



Modern extension to the bar. There are no features of note. (3781)



*Modern extension to the bar.
There are no features of note.
(3784)*



*Modern extension to the bar.
There are no features of note.
(3786)*



*Modern extension to the bar.
There are no features of note.
(3787)*



Kitchen. There are no features of note. (3792)



Door surround and four-panel door. (3741)



Door surround and four-panel door. (3742)



Toilets. There are no features of note. (3809)






Toilets. There are no features of note. (3808)



Toilets. There are no features of note. (3807)



<p><i>Stairs to first floor.(3747)</i></p>	
<p><i>Stairs with early Balustrade. (3748)</i></p>	
<p><i>First and second floors. The second floor has been removed, there are four two-over-two paned sash windows and surrounds. There are no other features of note. (3754)</i></p>	

First and second floors. The second floor has been removed, there are four two-over-two paned sash windows and surrounds. There are no other features of note. Note ties to the front wall. (3756)



Rear wall and chimney breasts. (3811)



An early six-panel raised and fielded door on the first floor. (3761)



Two-over-two paned sash window and surround on the first floor. (3763)



Smaller room on the first floor. (3764)



Appendix 2. Conservation Methodology

The works to the early fabric of the building shall be carried out in accordance with this conservation methodology, which shall take precedence over all other documents.

Supervision

All works to the historic fabric of the buildings shall be carried out under the supervision of the conservation architect and no taking down, opening up nor is any feature or fitting to be removed without his/her approval.

Structural Repairs

Structural Repairs shall be carried with the minimum intervention necessary to make the structure safe and to provide adequate load bearing capacity and stability in accordance with the structural engineer's details, specification and this methodology.

Experienced Contractor

Only Contractors and tradespersons with proven experience in the repair of historic buildings shall be engaged on the work.

Investigations

A series of opening up and investigations will be carried out to determine the condition of concealed fabric.

Protection

The Contractor shall take all precautions to preserve the early fabric of the building and to avoid causing any damage to existing features, finishes or fittings. The Contractor shall organise the work procedures to retain and protect the fragile fabric of the building. Precautions should also be made to protect the building from fire and the ingress of water.

Service Installations

The services shall be installed in an unobtrusive manner sympathetic to the original layout and fabric and shall be concealed. Service runs or ducts shall not cut through primary features such as window openings, door openings etc.

Standard of Finishes

The highest standard of finish is required for the works and the Contractor shall prepare samples for the approval of the architect before each stage of the work commences.

Contractor's Method Statements

The Contractor shall provide method statements to demonstrate how fabric will be protected, cleaned etc.

Features to be removed and stored for reuse

Features to be removed and stored for reuse shall firstly be photographed in position, surveyed and measured drawings shall be prepared to enable a complete reinstatement. The features shall be labelled and carefully removed to avoid damage to the feature and surrounding fabric during dismantling such as sound quarry slates, fire surrounds etc.

Demolition

Parts of buildings to be removed should be carefully taken down and stored for re-use in repairs or making good.

STRUCTURE

The structure of walls, floors and roofs is to be examined in detail by the Structural Engineer and repairs are to be carried out in accordance with his/her recommendations.

Demolition

Standards

Code of Practice:

The works shall comply with the requirements of B.S. 6187.

Parts of buildings to be removed should be carefully taken down in accordance with the structural engineer's instructions.

Asbestos based Materials

Report immediately to the Architect and Engineer any suspected asbestos based materials discovered during demolition work. Avoid disturbing such materials. Agree with the Architect / Engineer methods for safe removal.

JOINERY

Repair of Existing Window Surrounds

All existing timber window surrounds shall be assessed and the necessary repairs to be undertaken. The Contractor shall carefully record each window and code the opening. It is the intention to repair the surrounds as far as possible as opposed to replacements; however, where modern replacements do not match the original style, and are to be replaced with new windows to match the original style. Upon completion of the repairs, all plasterwork, window boards, linings etc. to be reinstated or renewed as necessary.

New windows to match existing.

New sashes and entire window cases, where required to match historic pattern shall do so in all respects. In this regard, the sizes where shown are indicative only, and the Contractor will be required to establish the exact timber sizes, mouldings and method of construction in order to establish an exact match.

It should be noted that where new windows are to be fitted, double glazing may be required, with a consequent dimensional deviation from the original. The Contractor is required to take this into consideration when repairing the surrounds and shutter boxes.

The sills and frames of new windows and surrounds shall be fabricated in hardwood or suitably robust softwood, the sashes in approved pine. The Contractor shall provide timber samples for the Architect's approval.

Timber Decay

The timberwork appears generally in reasonable condition, but the timbers should be examined in detail. All decayed or infested timber shall be carefully removed to prevent the spread of spores or larvae, immediately wrapped before removal from the building and disposed of site. Perished timbers should be replaced on a like for like basis, with new spliced members retaining as much of other original timber as is sound. All new timber should be vacuum treated with an approved preservative existing timber is to be treated with an approved borate preservative.

PLASTER

The existing plaster shall be tested and historic plaster matching the existing are to be used for repairs. No sound plaster or render is to be removed.

Any loose areas of plasterwork on the ceilings are to be tied back to the joists with stainless-steel screws and washers and/or stainless-steel wire or mesh. Damaged areas or holes are to be carefully cut back to the supporting joists and the ceiling plastered and all cracks cut out and filled with a lime-based plaster by a specialist plasterer.

All new services are to be concealed behind the plasterwork but chasing of walls is to be kept to a minimum and is to be repaired with a lime-based plaster by a specialist plasterer.

Walls: Areas of the plaster to the walls should be tap tested.

Background preparation

Ensure that the background is thoroughly clean. If the background is saturated and damp, check for cracks or other causes of water penetrations (faulty gutters or drainpipes, cracks in the joints of terraced roofs). These should be cleaned out and sealed with a lime/sand pointing mortar and allowed to cure for 1 or 2 days before plastering starts. Apply sufficient water to reduce excessive suction, especially on bricks and porous stone. Always dampen areas before applying next coat. Provide adequate keying between background and base coat and between each coat. Criss-cross patterns are preferred to combing.

Internal Plastering

Carefully remove loose plaster only where directed.

First coat: The first coat has to provide sufficient bonding. A scud coat is to be used on a strong and smooth background. The thickness of the first coat depends on the nature of the background, the overall thickness of the render and the keying function. The background should be well dampened and thoroughly wet to avoid shrinkage and the mix dashed on with a trowel or scoop to give a coating of between 3 and 5 mm in thickness. The scudding should be dampened periodically and permitted to dry out slowly before the application of the undercoats. A trowelled scratch coat is preferable on old bricks or soft surfaces. Scour back and key (criss-cross keying) once initial setting has taken place.

Two undercoats: to be applied 2 days or more, after completion of each coat. Thickness can vary according to the overall thickness required but it is normally between 8 and 15 mm. They must not be applied over 20 mm thick. The thicker the intermediate coats the longer the waiting time before each application. The scratch coat is to be scratched to its full depth with a plasterer's standard scratching tool.

Before the float coat is applied the scratch coat should be well dampened and thoroughly wet to avoid shrinkage. The float coat is applied at a depth of 8mm after the scratch coat has carbonated, and scratched lightly to 2mm depth to provide a key for the finish.

Finishing coat: The finishing coat is a thin coat using lime putty mixed with limestone sand to a volume ratio of (1:1.5) lime putty: limestone sand to a depth of 2-3mm. The finish coat can be up to three days after application to ensure a very fine finish and reduce shrinkage.





Planning Department
Louth County Council
Town Hall
Crowe Street, Dundalk
Co. Louth
A91 W20C

22nd October 2021

RE: Section 57 Declaration Application in respect of works and methodology for the structural repair and prevention of the endangerment of the buildings at No.8 (DB111) & 9 (DB112) St Laurence Street, Drogheda, Co. Louth.

Dear Sir/Madam,

With reference to the above, please note that Brady Hughes Consulting has been appointed by Pillardale Ltd. to make this application for a Section 57 declaration on their behalf.

Please find attached the following documents in respect of this Section 57 application:

- Application form for S.57 declaration
- Site Location Map with the property identified as per the requirements of Q.8 on the application form.
- Structural assessment detailing the proposed works prepared by Molony Millar Consulting Civil and Structural Engineers.
- Conservation assessment of the proposed works by John Greene Architects.

This application relates to necessary structural repairs that are required to stabilise and protect the buildings in question. The full scope and details of the works are included in the engineer's report. The conservation architects report assesses these works in full.

It should be noted that the works are being carried out on foot of a dangerous structure notice having been served by Louth County Council. The repairs listed are required to avoid any further deterioration of the protected structures and as such, we consider that the proposed repairs do not constitute development for which planning permission is required.

We look forward to your decision in due course.

Yours Faithfully,

Brian Hughes
BA BAI CEng MIEI
Chartered Engineer

