

Section 5 Declaration - Application Form

1. Name and address of person seeking the declaration:

Luis Andres Romeral Fernandez

241 Greenfield Court, Dundalk. A91DD5D

Phone Number:

E-Mail:

2. Name and address of agent (if any):

Phone Number: _____

E-Mail: _____

3. Name and address for all correspondence (if not completed, correspondence will be sent to person seeking declaration)

4. Interest in site of the person seeking declaration:

I am the freehold owner of the property in question.

(If applicant is not freehold owner of the property in question, please provide name and address of owner if known)

5. Location and full address of development referred to in Question 7

241 Greenfield Court, Dundalk, Co.Louth, Ireland. A91DD5D

6. Eircode OR Grid Co-ordinates must be submitted. Grid references may be found on Google Maps or at <https://irish.gridreferencefinder.com>

A91DD5D

7. Question for determination under Section 5 (See Note 1 above).

The question must be framed in the following format, i.e. Is the construction of a shed development and is it or is it not exempted development:

Is the construction of a proposed single-storey, single-pitched rear extension to the existing dwelling, with an internal floor area of 22 square metres, a maximum height of 3.6 metres, and a length of 8 metres measured parallel to and adjoining the lateral boundary line, located at 10 cm from the lateral boundary, finished in materials to match the existing dwelling and comprising two rooms and a toilet, development; and if so, is it or is it not exempted development?

8. Does the development consist of works to be carried out to an existing or proposed protected structure? Yes No

If Yes, has a Declaration under Section 57 of the Planning and Development Act 2000 been requested or issued for the property by the Planning Authority?

I certify that the afore

Signature of Applicant

Date

28-04-26

Please include one copy of the following documents with this application form:

- Site Location Map: (Scale 1:1000)
- Site Layout Map: (Scale 1:200 or 1:500)
- Floor Plans & Elevations: (Scale 1:50, 1:100 or 1:200)
Existing & Proposed, where applicable
- Application fee: (€80)

Completed Application Form & Fee of €80.00 may be sent to:

Planning Office, Louth County Council, Town Hall, Crowe Street,
Dundalk, County Louth, A91W20C

OR

by email to planninggroup@louthcoco.ie with contact details to arrange payment of fee.

**SPECIFICATION
FOR
CONSTRUCTION OF A SINGLE STOREY REAR
EXTENSIONS TO AN EXISTING DWELLING
HOUSE AND ASSOCIATED SITE DEVELOPMENT
WORKS
AT
241 GREENFIELD COURT,
DUNDALK,
CO. LOUTH
A91 DD5D
FOR
LUIS ANDRES ROMERAL FERNANDEZ.**



Property Damage • Certified Insurance Practitioners • Building Surveyors
Domestic, Commercial & Industrial

Upper Faughart, Dundalk, Co. Louth

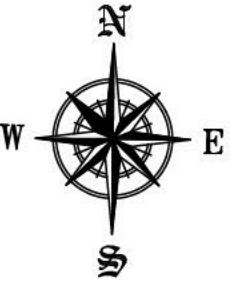


GENERAL SCOPE OF THE WORKS

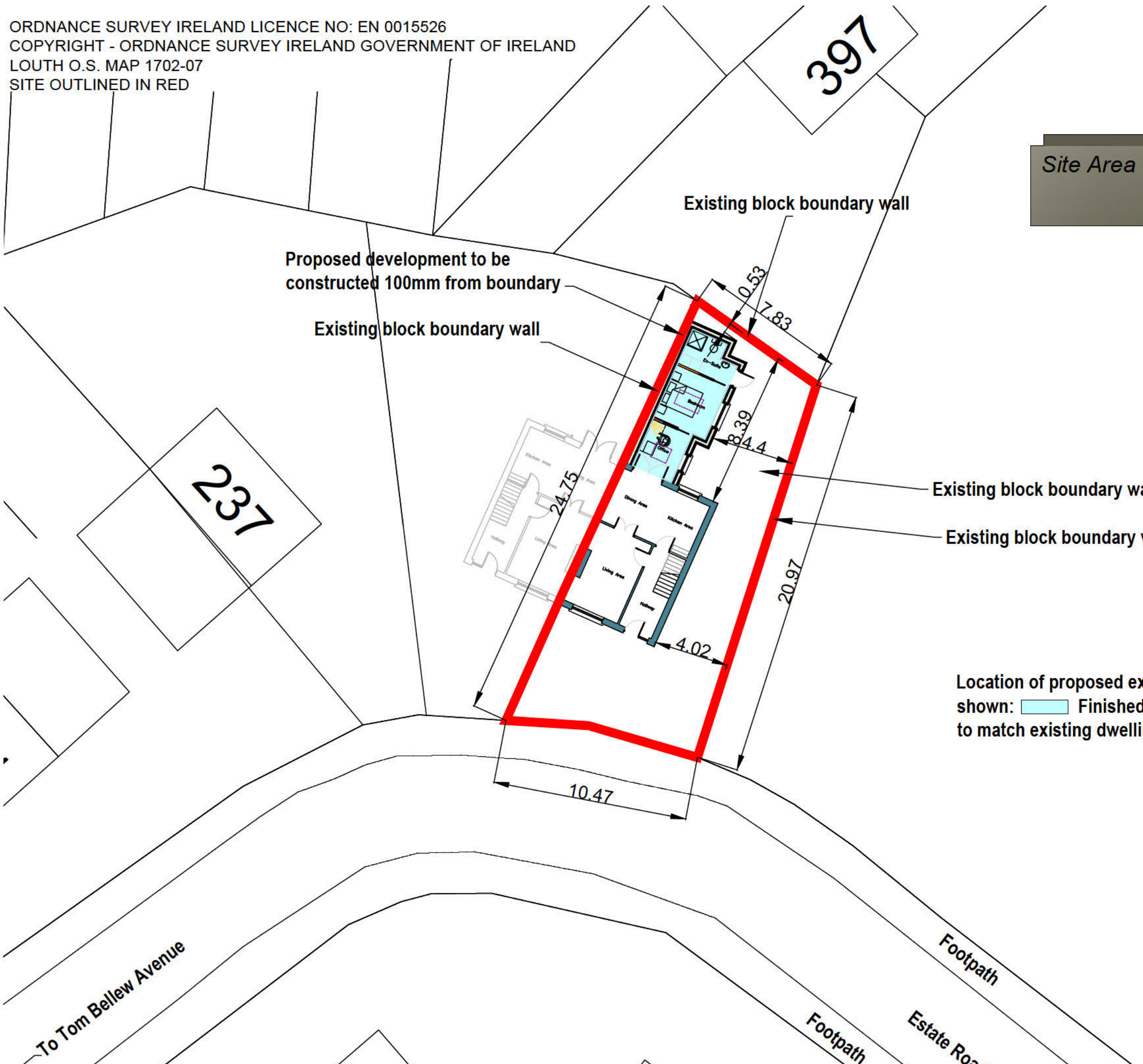
The development shall consist of the following – The construction of an extension and alterations to an existing dwelling house and associated site development works at 241 Greenfield Court, Dundalk, Co. Louth A91 DD5D.

This specification should be read in conjunction with the following drawings and documentation:

- Drawings:-
- Dwg. No. LF-CD-001 - Site Location Map.
- Dwg. No. LF-CD-002 – Site Layout Map
- Dwg. No. LF -CD-003 – Existing Floor Plans & Section
- Dwg. No. LF -CD-004 – Existing Elevations.
- Dwg. No. LF -CD-005 – Proposed Floor Plans & Section.
- Dwg. No. LF -CD-006 – Proposed Foundation, Blockwork & roof plans.
- Dwg. No. LF -CD-007 – Proposed Elevations.
- Dwg. No. LF -CD-008 – Proposed Construction Details 1.
- Dwg. No. LF -CD-009 – Proposed Construction Details 2.
- Specification of Works.



Site Area = 0.0500 Acres
 0.0202 Ha



Existing block boundary wall
 Existing block boundary wall

Location of proposed extension shown: Finished floor level to match existing dwelling

Rev.	Date:	Description:

Job Description:
 THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

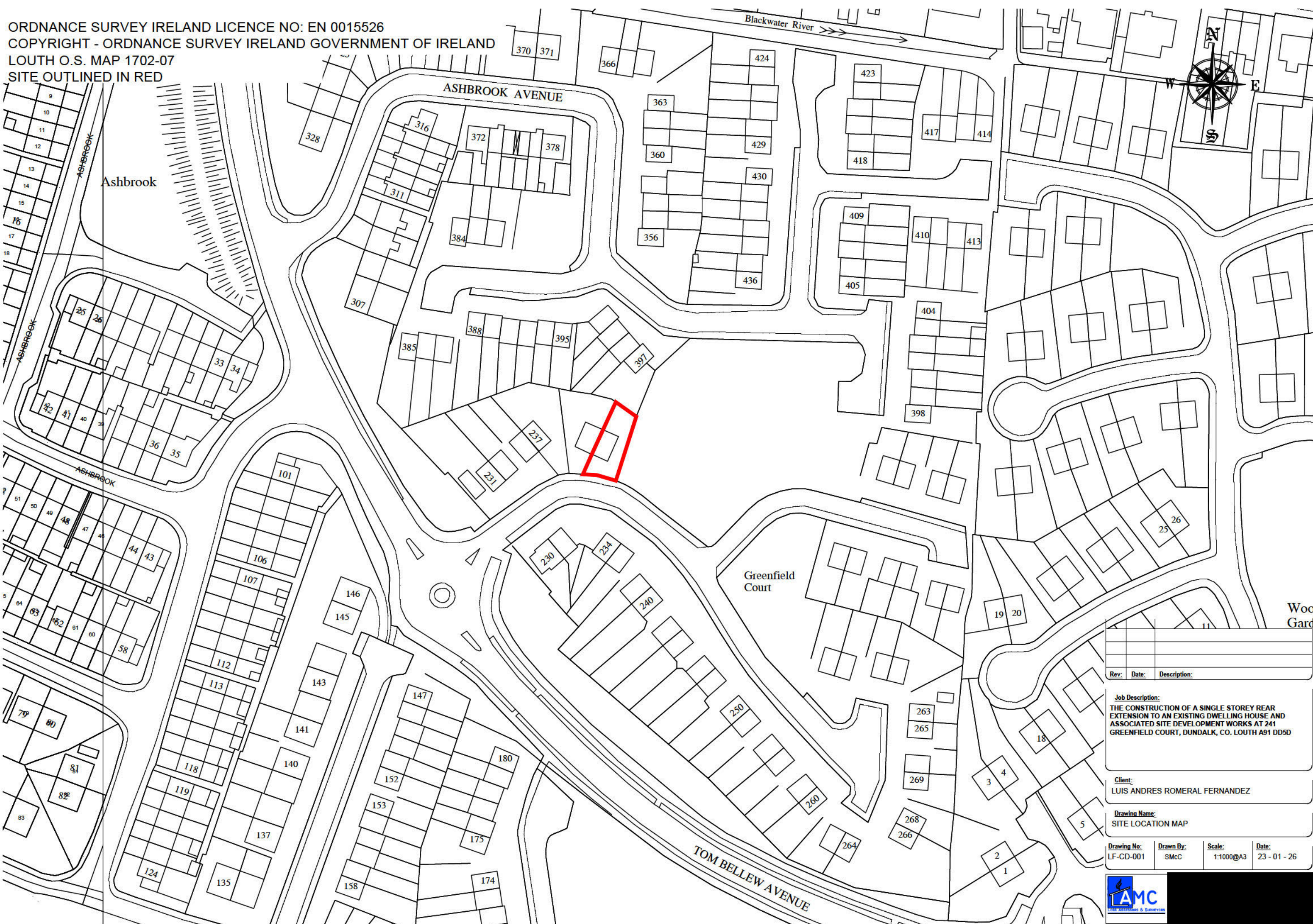
Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 SITE LAYOUT MAP

Drawing No: LF-CD-002	Drawn By: SMcC	Scale: 1:200@A3	Date: 23 - 01 - 26
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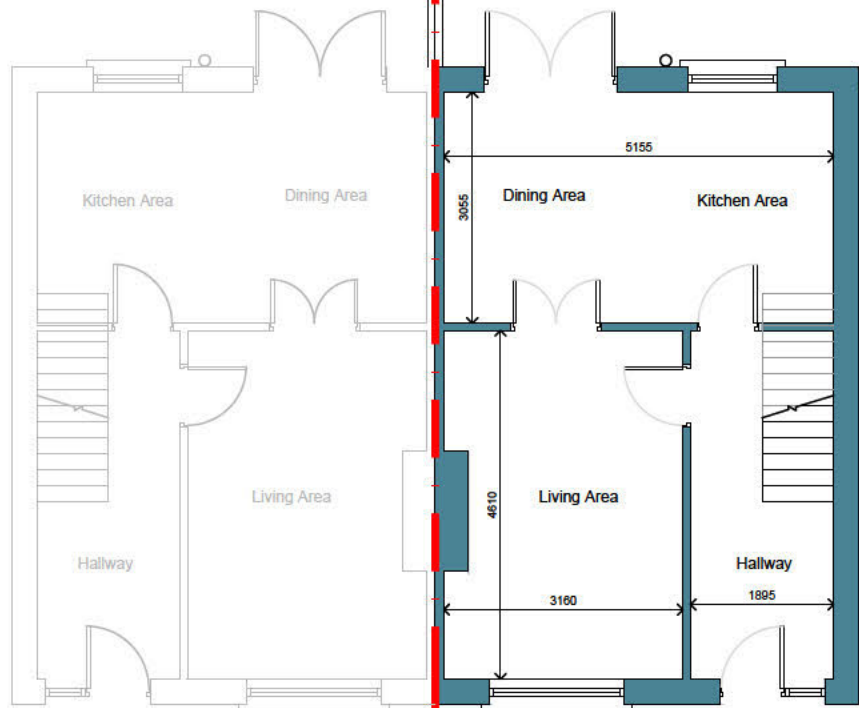


ORDNANCE SURVEY IRELAND LICENCE NO: EN 0015526
 COPYRIGHT - ORDNANCE SURVEY IRELAND GOVERNMENT OF IRELAND
 LOUTH O.S. MAP 1702-07
 SITE OUTLINED IN RED

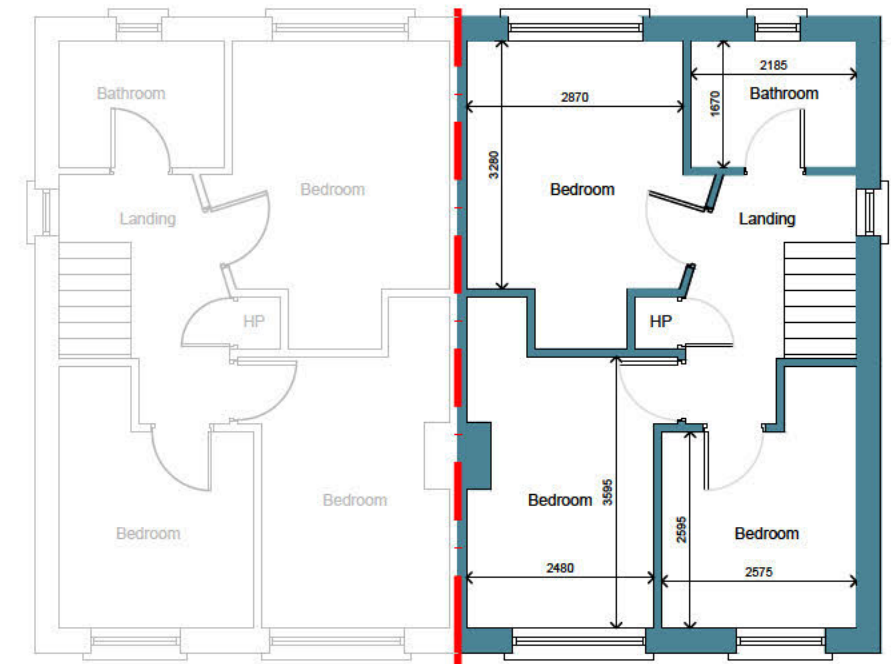


Rev:	Date:	Description:
Job Description: THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D		
Client: LUIS ANDRES ROMERAL FERNANDEZ		
Drawing Name: SITE LOCATION MAP		
Drawing No: LF-CD-001	Drawn By: SMcC	Scale: 1:1000@A3
Date: 23 - 01 - 26		

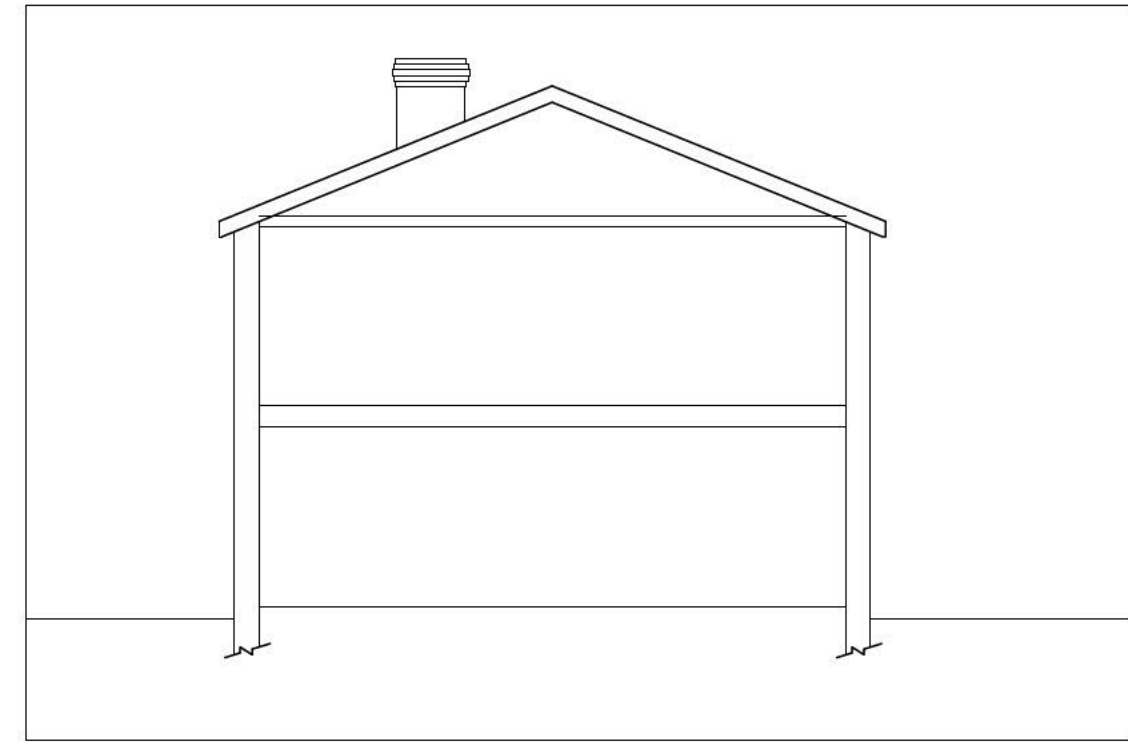




GROUND FLOOR PLAN
FLOOR AREA = 40m²



FIRST FLOOR PLAN
FLOOR AREA = 40m²



Rev:	Date:	Description:

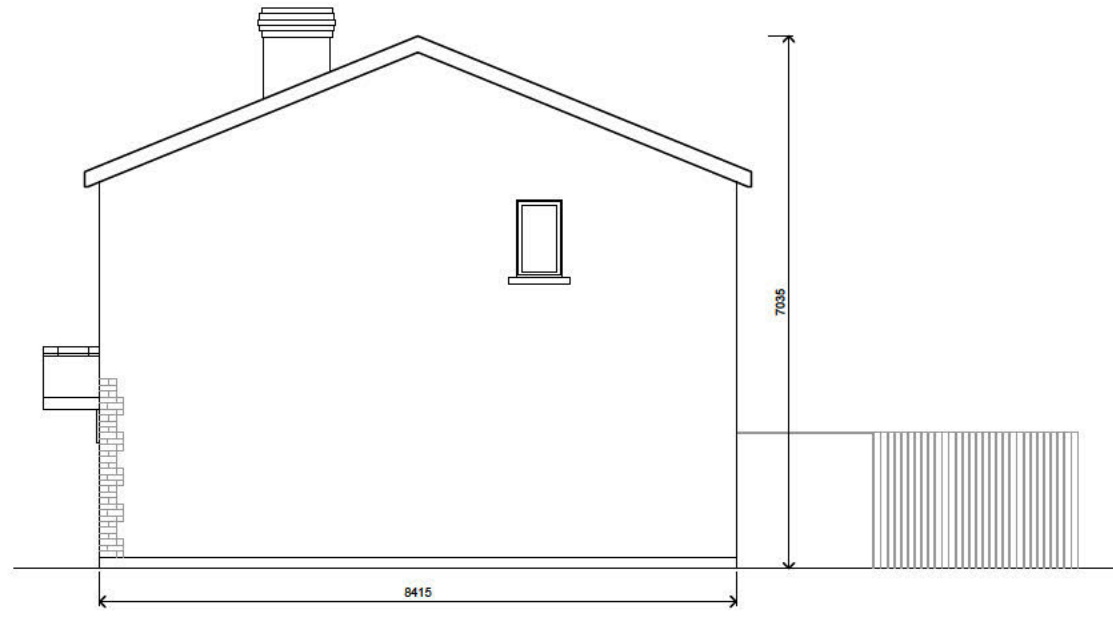
Job Description:
PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 D05D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
EXISTING FLOOR PLANS & SECTIONS

Drawing No:	Drawn By:	Scale:	Date:
LF-CD-003	SMcC	1:100@A3	28 - 01 - 26





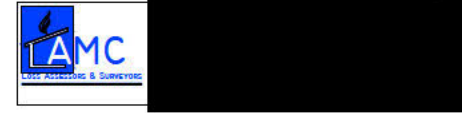
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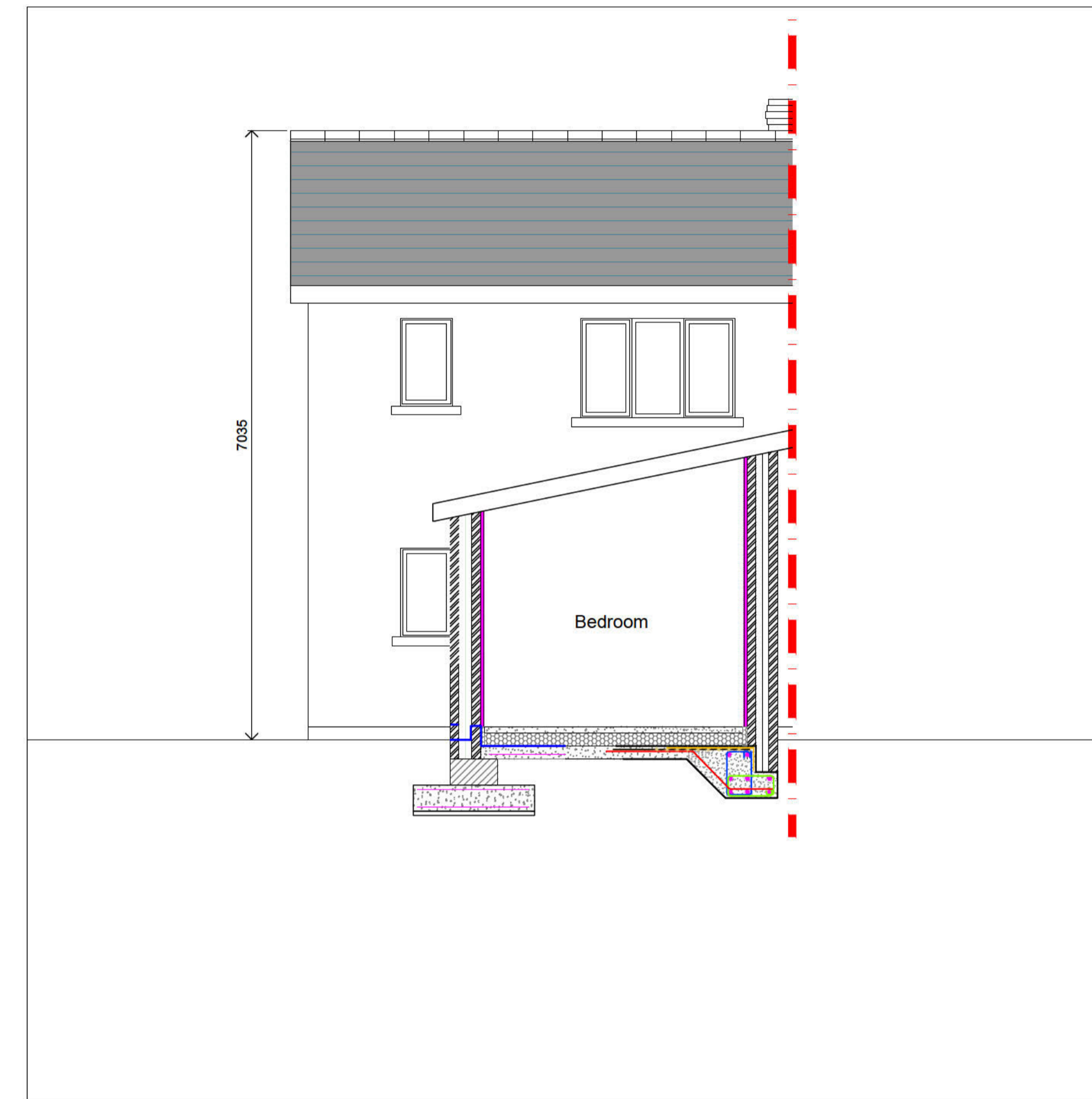
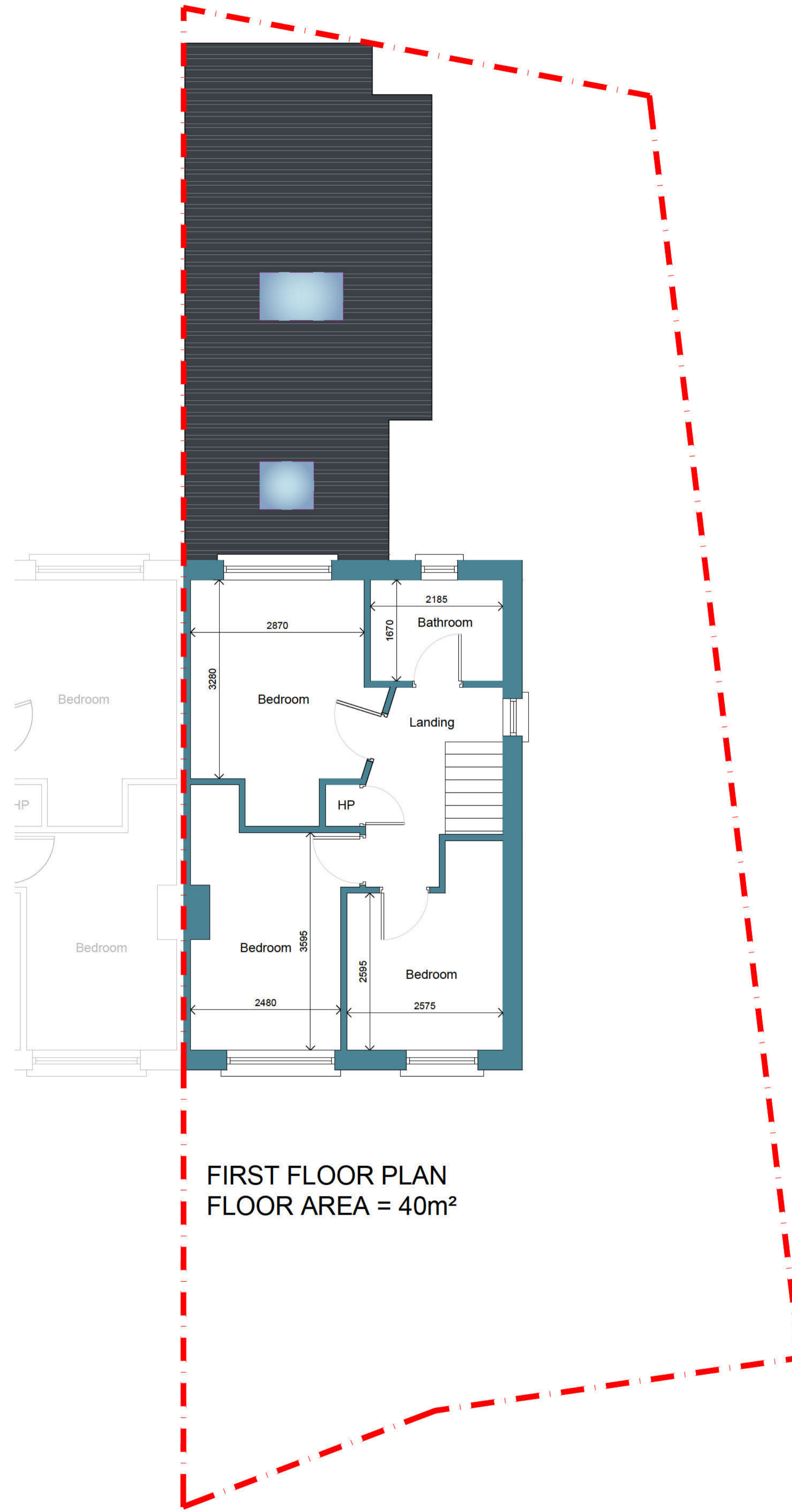
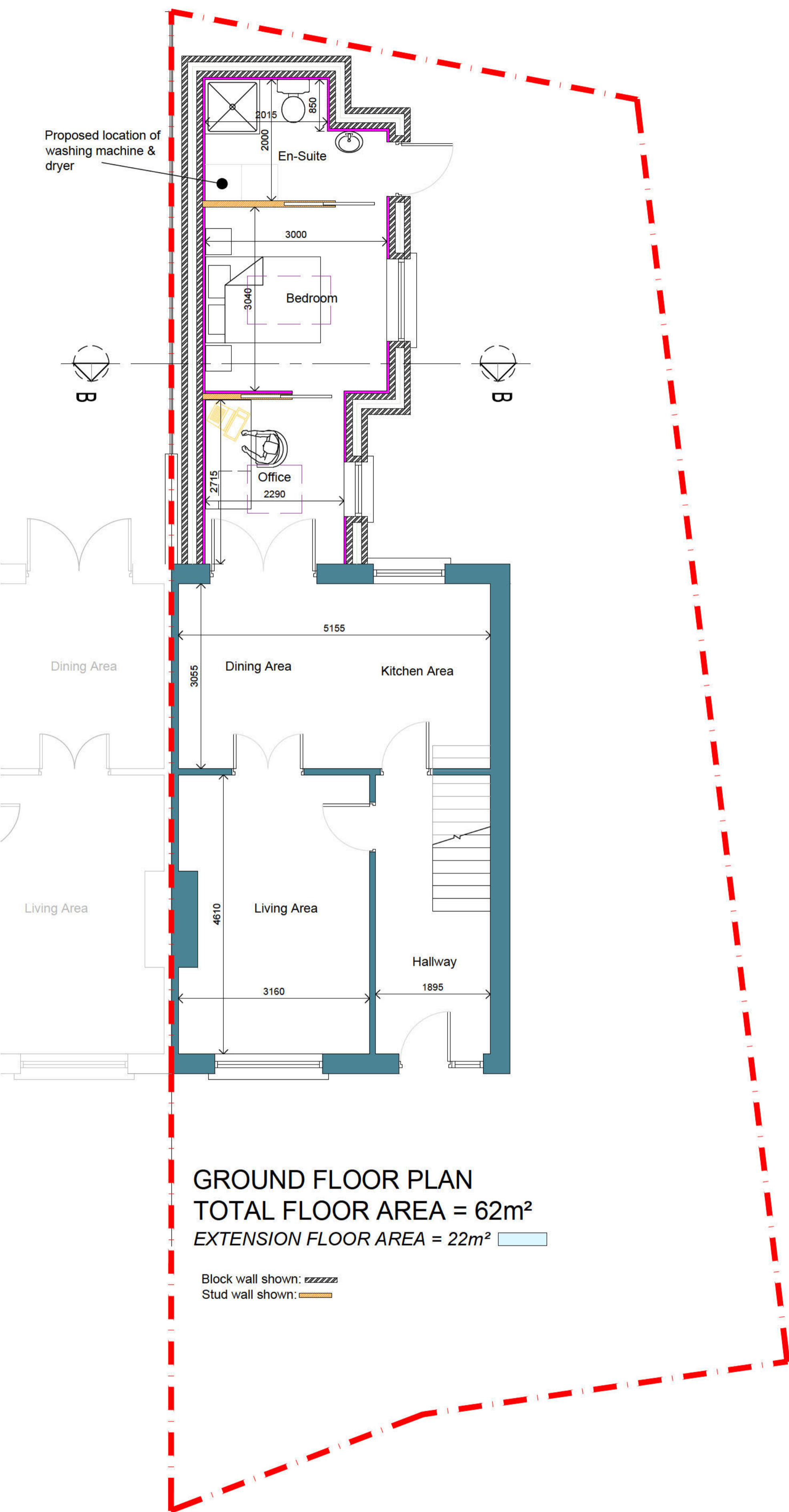
Job Description:
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Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 EXISTING ELEVATIONS

Drawing No: LF-CD-004	Drawn By: SMcC	Scale: 1:100@A3	Date: 28 - 01 - 26
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ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

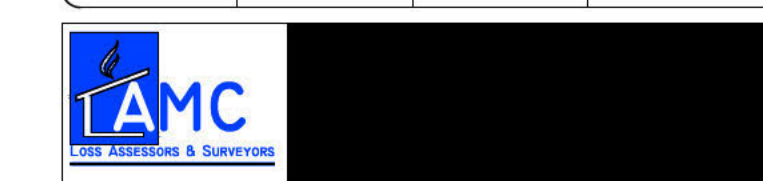
Rev.	Date	Description

Job Description:
PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
PROPOSED FLOOR PLANS & SECTIONS

Drawing No.	Drawn By:	Scale:	Date:
LF-CD-005	SM&C	1:50@A1	28-01-26



- NOTES:**
- CONCRETE TO HAVE A MIN. DESIGN STRENGTH OF C28/35 (35N/mm²) AT 28 DAYS. CONCRETE MIX TO BE IN ACCORDANCE WITH I.S. EN 206-01.
 - MAX. SIZE OF AGGREGATE TO BE 20mm U.N.O.
 - REINFORCEMENT:
 - "H" = HIGH YIELD STEEL = 500N/mm².
 - NO OPENINGS TO BE FORMED IN THE CONCRETE WORK OTHER THAN DRAWN, WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS I.E.:
 - ARCHITECTS DRAWINGS,
 - ENGINEERS DRAWINGS,
 - BAR BENDING SCHEDULES.
 - ANY DISCREPANCIES IN DIMENSIONS OR DETAILS SHOULD BE REPORTED TO THE STRUCTURAL ENGINEER BEFORE CONSTRUCTION.
 - MIN. COVER TO ALL REINFORCEMENT IN FOUNDATION IS 75mm.
 - MASONRY STRENGTH:
 - BELOW DPC = 13N/MM².
 - ABOVE DPC = 7.5N/MM².
 - ALL MASONRY 'GROUP 1' & 'CATEGORY 1' TO S325 AND ECK.
 - ALL WALL INTERSECTIONS TO BE FULLY BONDED.
 - ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE.
 - BOTTOMS OF ALL EXCAVATIONS TO BE TAKEN DOWN TO FIRM BEARING TO THE SATISFACTION OF THE ENGINEER ON SITE.
 - REFER TO ARCHITECTS DRAWINGS FOR SERVICE OPENINGS ETC.
 - WALL TIES - USE TYPE 3 (300MM) STAINLESS STEEL WALL TIE
 - INSTALL WALL TIES AT 450C/C HORIZONTAL AND 450 C/C VERTICALLY.
 - INSTALL WALL TIES @ 225C/C VERTICALLY & HORIZONTALLY AROUND ALL OPES AND MAX. 225MM FROM EDGE
 - WALL TO BE APPROVED BY DCE IRL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF ALL ELEMENTS OF CONSTRUCTION DURING THE PROGRESS OF THE WORKS AND IS TO PROVIDE ALL TEMPORARY SUPPORTS OR BRACING NECESSARY TO MAINTAIN STABILITY AT ALL TIMES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STRUCTURE FROM ADVERSE WEATHER CONDITIONS THROUGHOUT THE DURATION OF THE WORKS. PROPOSAL FOR PROTECTION ARE TO BE SUBMITTED TO THE ARCHITECT FOR RELEVANT WORK ITEMS.
 - TYPES OF MORTAR MIX:
 - MORTAR MIX DESIGNATED M6 BELOW DPC
 - MORTAR MIX DESIGNATED M4 ABOVE DPC
 - ALL MASONRY TO BE TIED INTO CONCRETE & STEEL COLUMNS USING WALL TIES SHOT FIXED AT @ 225 C/C VERTICALLY.

HAZARD IDENTIFICATION NOTES



- TRENCH FILL CONCRETE SHOULD BE PLACED IMMEDIATELY AFTER EXCAVATION IS MADE TO ENSURE BEARING STRATUM DOES NOT DETERIORATE AND TRENCHES REMAIN STABLE.
- ALL UNSAFE TRENCHES TO BE BATTERED BACK TO A SAFE LEVEL.

EXCAVATION NOTES

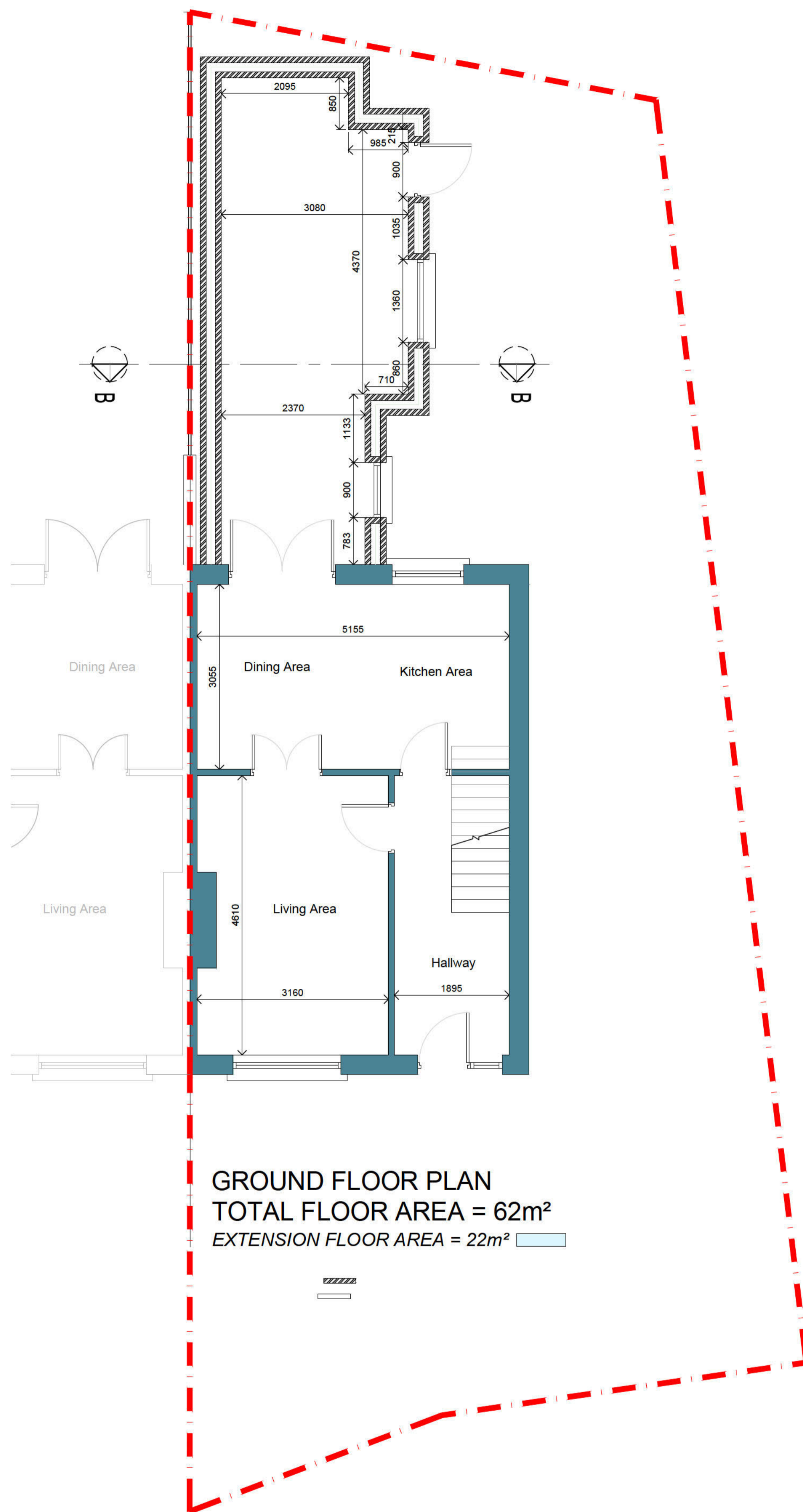
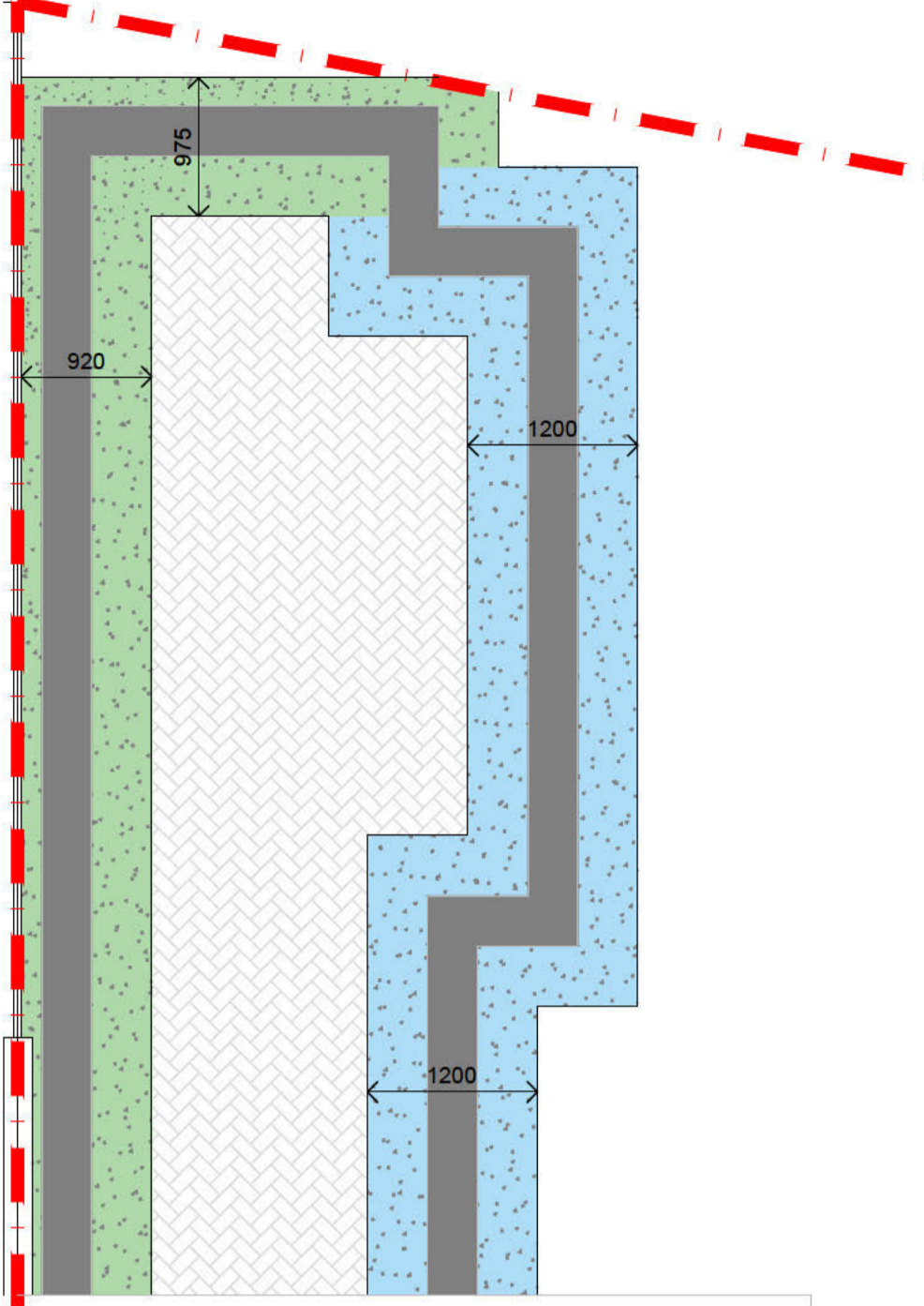
- IF AN EXCAVATION IS TO BE CARRIED OUT CLOSE TO AN EXISTING BUILDING, THE CONTRACTOR MUST TAKE ALL NECESSARY STEPS TO ENSURE THAT THE FOUNDATIONS TO NEARBY BUILDINGS ARE NOT UNDERMINED OR DAMAGED.
- UNDERMINING IS DEFINED AS ANY EXCAVATION (INCLUDING WORKING SPACE) WHICH ENCRUSHES ON A 45 DEGREE LINE, PROJECTED DOWNWARDS FROM THE BOTTOM CORNER OF THE EXISTING FOUNDATION.
- WHERE DETAILS ARE INDICATED ON DRAWINGS, THE CONTRACTOR MUST NOT DEVIATE FROM THESE DETAILS. WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER, IF APPROPRIATE DETAILS ARE NOT SHOWN ON THE DRAWINGS, PLEASE INFORM THE ENGINEER IMMEDIATELY.
- IF IT BECOMES APPARENT THAT THE DETAILS OF THE EXISTING FOUNDATIONS OR SUB-STRUCTURES ARE NOT AS ASSUMED, THE CONTRACTOR MUST TAKE ALL NECESSARY STEPS TO ENSURE THAT THE FOUNDATIONS ARE NOT UNDERMINED OR DAMAGED, AND THAT THEY ARE PROTECTED AGAINST DAMAGE.

FOUNDATION NOTES:

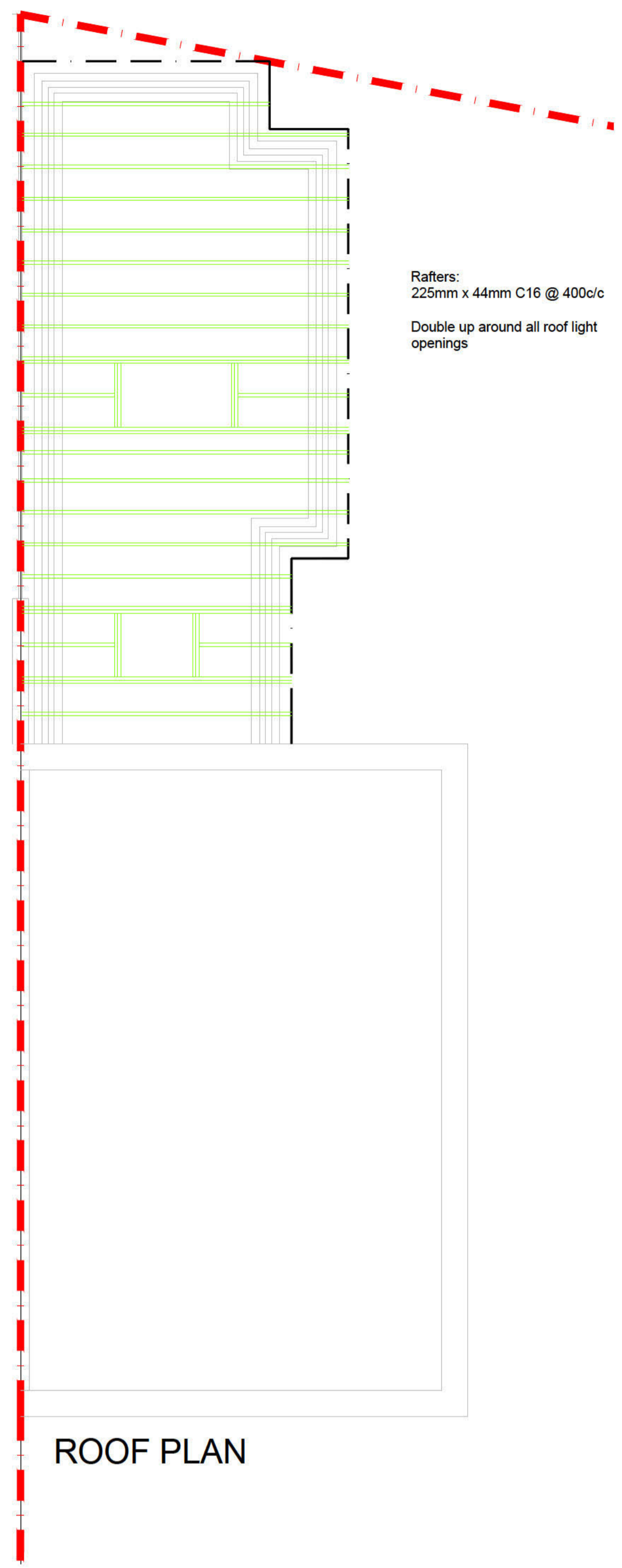
- A393 MESH REQUIRED IN STRIP FOUNDATION. MIN. COVER: 75mm OR 50mm IF C18 CONCRETE BLENDING IS USED.
- MINIMUM 450MM LAP LENGTH ON A393 MESH.
- STRIP FOUNDATIONS ALL 300mm DEEP (WIDTHS AS SHOWN ON PLAN).
- FOUNDATIONS DESIGNED FOR MIN. BEARING PRESSURE OF 75kN/m².
- FORMATION LEVEL OF FOUNDATIONS TO BE CONFIRMED ON SITE BY SUPERVISING ENGINEER.

Foundation Type 1 shown: 
 Foundation Type 2 shown: 

FOUNDATION PLAN



GROUND FLOOR PLAN
 TOTAL FLOOR AREA = 62m²
 EXTENSION FLOOR AREA = 22m²



Rafters:
 225mm x 44mm C16 @ 400c/c
 Double up around all roof light openings

ROOF PLAN

ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

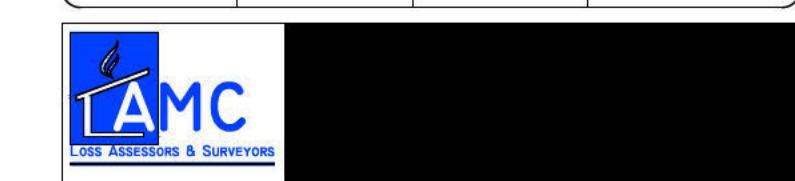
Rev:	Date:	Description:

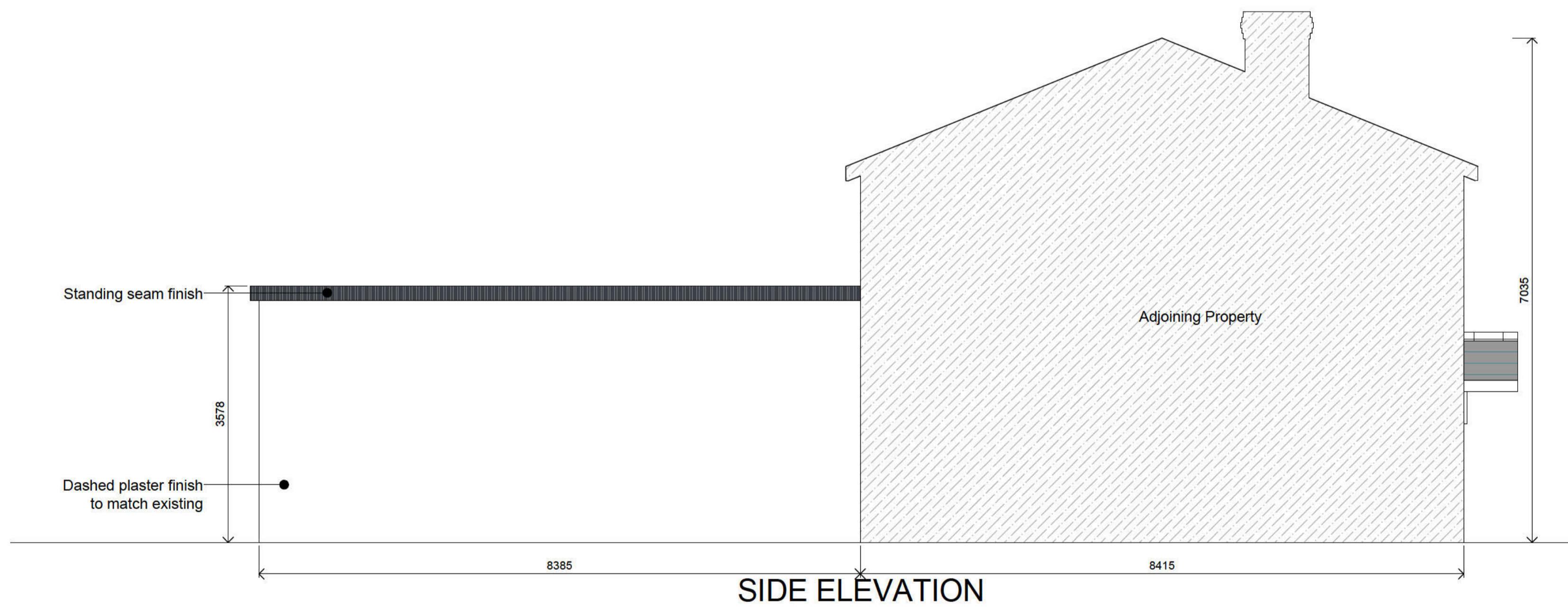
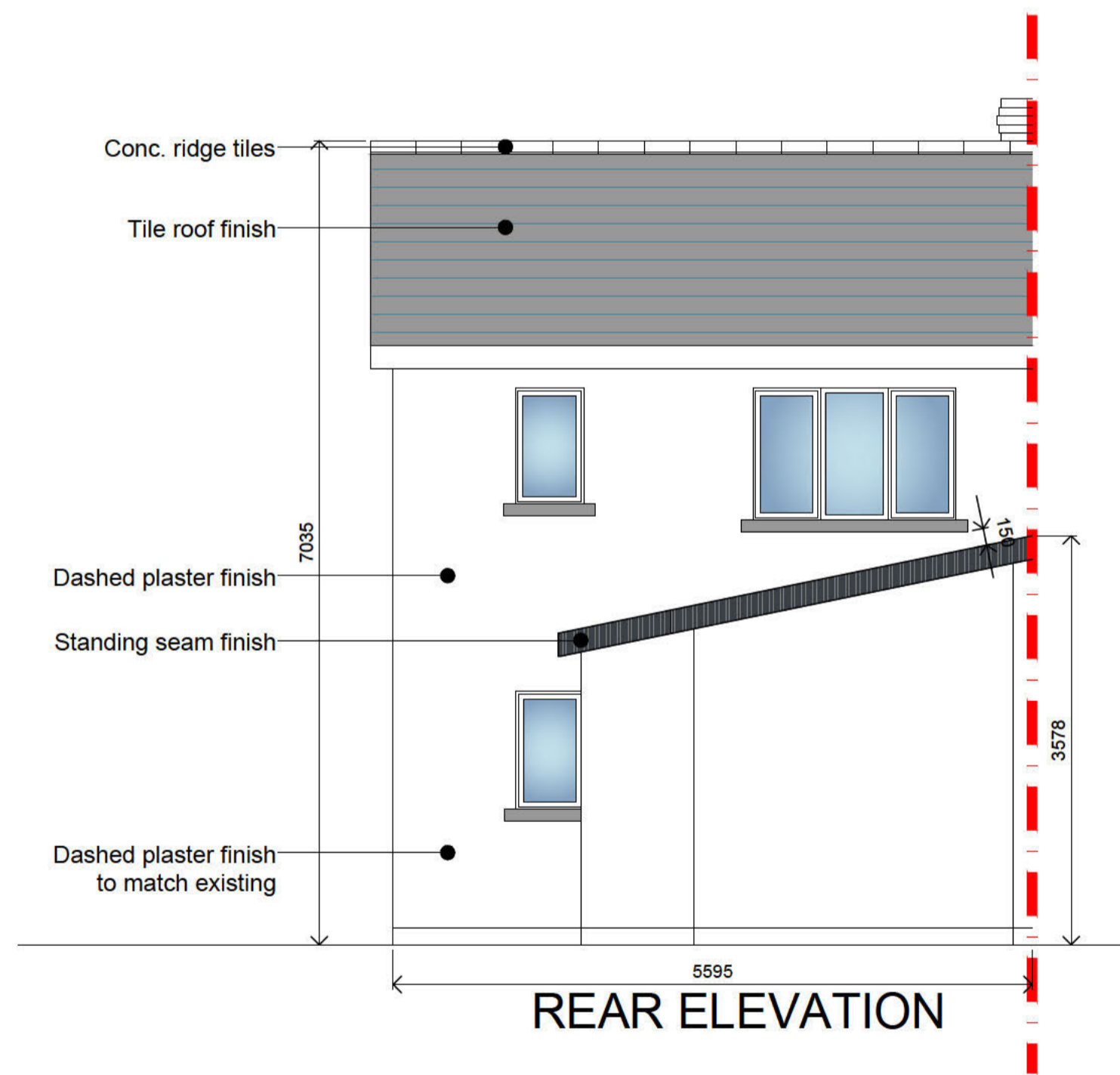
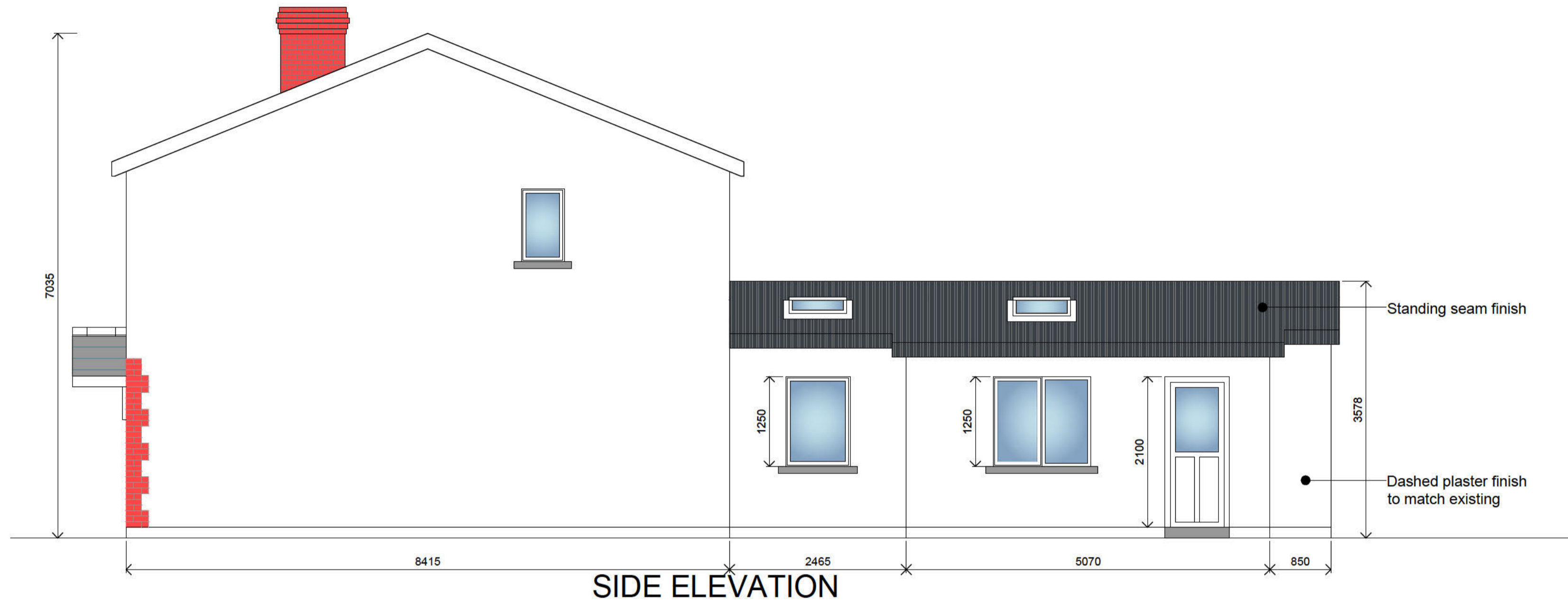
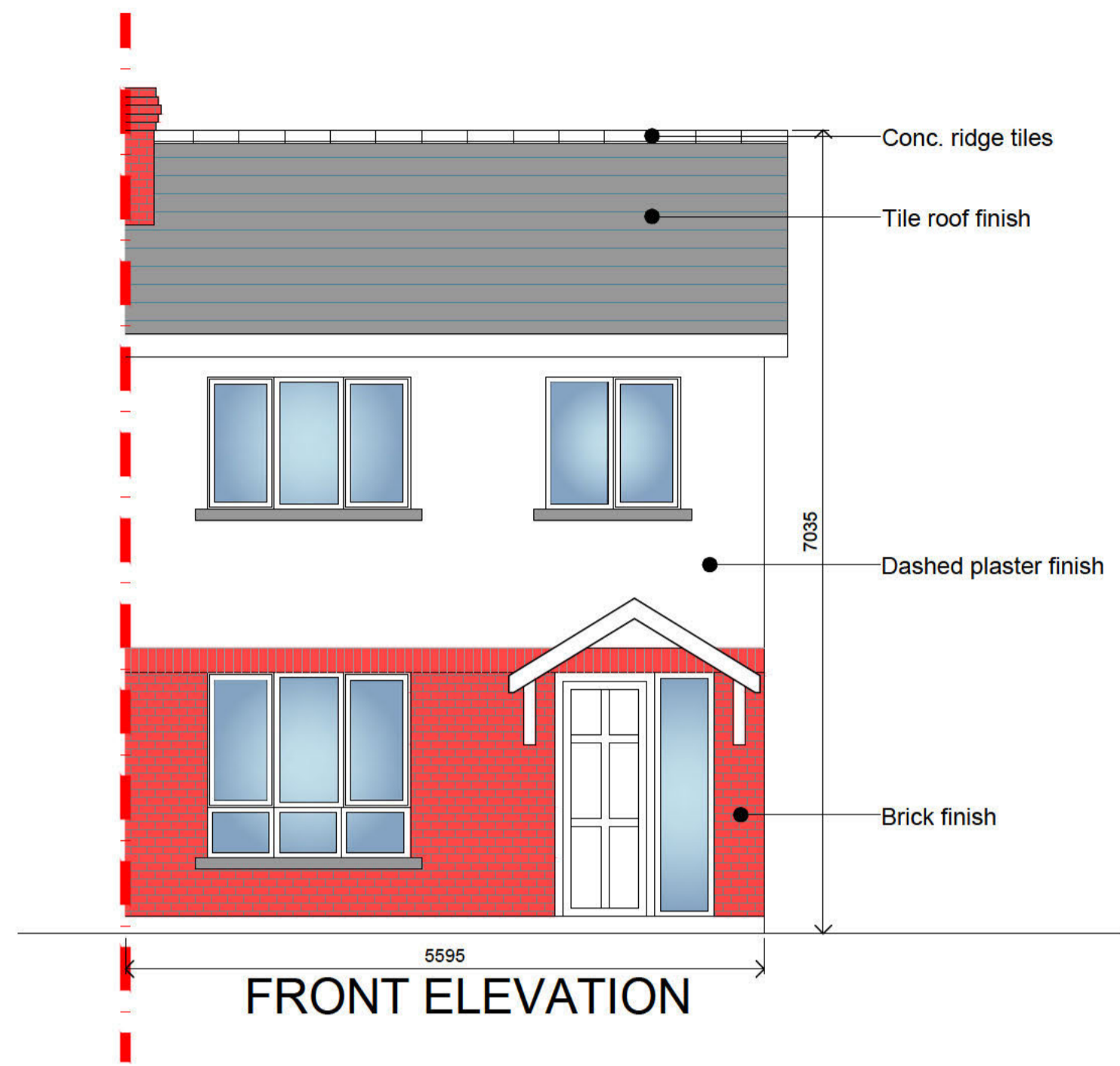
Job Description:
 PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 PROPOSED FOUNDATION, BLOCKWORK & ROOF PLANS

Drawing No:	Drawn By:	Scale:	Date:
LF-CD-006	SMcC	1:50@A1	28 - 01 - 26





ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

Rev:	Date:	Description:

Job Description:
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Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 PROPOSED ELEVATIONS

Drawing No: LF-CD-007	Drawn By: SM&C	Scale: 1:50@A1	Date: 28 - 01 - 26
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20.03.26

Re: Proposed construction of a single storey rear extensions to an existing dwelling house and associated site development works at 241 Greenfield Court, Dundalk, Co. Louth A91 DD5D.

Client: Luis Andres Romeral Fernandez

Dear Sirs,

You are invited to submit a tender for the construction of a rear extension and alterations to an existing dwelling house and associated site development works at the above mentioned address in accordance with the enclosed tender documents.

Drawings:-

- Dwg. No. LF-CD-001 - Site Location Map.
- Dwg. No. LF-CD-002 – Site Layout Map
- Dwg. No. LF -CD-003 – Existing Floor Plans & Section
- Dwg. No. LF -CD-004 – Existing Elevations.
- Dwg. No. LF -CD-005 – Proposed Floor Plans & Section.
- Dwg. No. LF -CD-006 – Proposed Foundation, Blockwork & roof plans.
- Dwg. No. LF -CD-007 – Proposed Elevations.
- Dwg. No. LF -CD-008 – Proposed Construction Details 1.
- Dwg. No. LF -CD-009 – Proposed Construction Details 2.

Specification of Works.

You are advised to visit the site in advance of submitting your tender to ascertain any local conditions which might affect your tender: Any claims arising from your failure to inspect the site will be rejected. You should also investigate locally with adjoining land owners with respect to any possible access to the site via third party property. Your tender, together with the enclosed tender documents, should be returned to Mr. Shane McCoy no later than **3pm Friday 13th 2026**. Any tenders returned after this time will not be considered.

Should you have any queries in connection with this tender, please contact Shane McCoy on [REDACTED]

**SPECIFICATION
FOR
CONSTRUCTION OF A SINGLE STOREY REAR
EXTENSIONS TO AN EXISTING DWELLING
HOUSE AND ASSOCIATED SITE DEVELOPMENT
WORKS**

AT

**241 GREENFIELD COURT,
DUNDALK,
CO. LOUTH
A91 DD5D**

FOR

LUIS ANDRES ROMERAL FERNANDEZ.



Property Damage • Certified Insurance Practitioners • Building Surveyors
Domestic, Commercial & Industrial

Upper Faughart, Dundalk, Co. Louth



GENERAL SCOPE OF THE WORKS

The development shall consist of the following – The construction of an extension and alterations to an existing dwelling house and associated site development works at 241 Greenfield Court, Dundalk, Co. Louth A91 DD5D.

This specification should be read in conjunction with the following drawings and documentation:

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- Dwg. No. LF -CD-009 – Proposed Construction Details 2.
- Specification of Works.

1. PRELIMINARIES AND GENERAL CONDITIONS

1.1 TITLE AND LOCATION

Proposed construction of an extension and alterations to an existing dwelling house and associated site development works at 241 Greenfield Court, Dundalk, Co. Louth A91 DD5D.

1.2 THE PARTIES

Luis Andres Romeral Fernandez C/O AMC Loss Assessors & Surveyors, Upper Faughart, Dundalk, Co. Louth.

1.3 DRAWINGS AND SECURITY OF DRAWINGS

The work shall be carried out strictly in accordance with drawings and specification and all further details supplied by the Surveyor. The drawings and specification should be read in conjunction with each other and with the Building Regulations (including all amendments) and all incidental work necessary for the completion of the building, which may not necessarily be mentioned should be included in the contract. If, in the opinion of the Contractor, anything described in the Specification or shown on the drawings is unsuitable or inconsistent with his guarantees or responsibilities under the Contract, or on becoming aware of any discrepancies between these documents, the Contractor shall draw such matters to the attention of the Architect not later than seven days before the date for submission of Tenders, or in the case of documents or instructions issued after the time of tendering, as soon as practicable and in any case before commencement of any part of the works which might be affected. The Contractor shall take all reasonable steps necessary to ensure that no un-authorized person shall have access to any drawings or other documents relating in any way to the contract. All such drawings and other documents shall at all times remain in the custody of the contractor and when not actually in use shall be kept under lock and key or otherwise strictly safeguarded.

1.4 SETTING OUT

The Contractor shall be totally responsible for the accurate setting out of the building.

1.5 SUPERVISION AND PROGRAMME

The Contractor shall keep competent personnel to supervise the job from the commencement of the building until the completion. He shall accept responsibility for co-ordination, supervision and administration of the Works including all sub-contracts.

Arrange and monitor a program with each sub-Contractor, supplier, local authority and statutory undertaker, and obtain and supply information as necessary for co-ordination of the work. Provide on and off-site management including an authorised agent (General Foreman).

As soon as possible, and before starting work on site, prepare in an approved form of program for the works, which must make allowance for 1. Sub-Contractors work. 2. Other work

concurrent with the Contract. The Contractor shall be responsible for the correlation of all the various sub-contractors works and for their proper progress in the appropriate order to ensure that the Project is completed within the time allowed. Any additional costs caused by the incorrect or insufficient information being given, or by the Contractor not keeping the sub-contractors informed of all alterations shall be borne by the Contractor. The Contractor shall ensure that all sub-contractors are fully conversant with and are bound by the terms of the Main Contract. The Contractor shall obtain full information from all sub-contractors of their requirements for chases, recess, holes and other items of builder's work at an early stage and he shall supply them with all necessary dimensions and other information so that subsequent alterations may be avoided. Any alterations caused by failure on the part of the Contractor to do this will be carried out at his own expense.

1.6 EXTRAS

No extras shall be allowed without the written consent of the Surveyor.

1.7 CONTRACT

The form of contract is to be agreed by the client and the contractor.

Definitions: - The following abbreviations are used - I.S. Irish Standard specification: B.S. British Standard specification: A.R.M. Agreed Rules of Measurement (Third Edition 2003). The term ""the works"" shall mean the whole of the works envisaged by this contract including, unless expressly stated otherwise, the works of Local Authorities and Public Utilities. Project supervisor for the construction stage. It is a condition precedent to the award of this contract that the Contractor must be able to comply with the Safety Health and Welfare at Work Construction Regulations and to the details listed below. **The Contractor shall include for acting as the Project Supervisor for the Construction Process and for developing, before the commencement of the construction work, the safety and health plan for the construction site already prepared on a preliminary basis.** The Contractor shall include for the Project Supervisor for the Construction Process giving notice to the National Authority for Occupational Safety and Health prior to commencement of work on site in accordance with the Regulations. The Contractor shall include for complying with the Safety and Health Plan for the Construction Stage and with all instructions of the Project Supervisor for the Construction Process in this regard.

The Contractor shall include for assisting the Project Supervisor for the Construction Stage preparing and maintaining a Safety File. The Contractor shall include for complying with the Safety Health and Welfare at Work Acts and Regulations current at the date of tender. Project supervisor for the Construction Stage.

The Contractor shall, within 10 days after the issuing of the Certificate of Practical Completion, supply to the Supervising Surveyor two sets of drawings showing surface water, fire mains, foul drainage, electrical cables and all underground services on site. When requested by the Surveyors, the Contractor shall submit, within 3 working days, a detailed Programme of Work related to the period of practical completion. The Programme shall contain details of the resources needed for each phase of the Programme. The Programme shall list the latest dates for the receipt of drawing information and the dates for submission of progress claims.

1.8 CONTRACT GUARANTEE BOND

N/A

1.9 INCLEMENT WEATHER

Concrete work or plastering and decorating work should be suspended during bad weather. Works should be covered to protect from injury by inclement weather. The Contractor must make due allowance in his programme for inclement weather, as distinct from exceptionally inclement weather, and winter working.

1.10 EXISTING SERVICES

The Contractor shall fully satisfy himself as to the exact location of all existing services. He should contact all the relevant Service Authorities in relation to ascertaining the existence or otherwise of power cables, gas pipes, telecom cables, water mains etc. underground in advance of any opening up work

1.11 CLEAR AWAY RUBBISH

Clear away all rubbish and leave the building and the entire site clean and to the satisfaction of the Supervising Surveyor. Rubbish and debris from the site shall be disposed of in a tip controlled by or recognised by a Local Authority. The Contractor shall comply with all regulations governing the controlled tipping of debris and rubbish.

1.12 WORK GENERALLY/ DEFECTIVE WORK

The work shall be in accordance with best building practice and in accordance with the current Building Regulations. As soon as possible after any part of the work is known or suspected to be defective, the Contractor shall submit proposals to the Surveyor for opening up, inspection, further testing, making good or removal and re-execution and obtain instructions.

Wherever inspection or testing shows that the work is not in accordance with the Contract and measures (e.g. testing, opening up, experimental making good) are taken to establish the acceptability of the work, such measures; 1. Will be at the expense of the Contractor and 2. Will not be considered grounds for extension of time.

1.13 ATTENDANCE

The Contractor shall provide for all normal attendance of one trade upon another. He shall provide general attendance on nominated sub-contractors which shall be deemed to include the use of the Contractor's standing scaffolding, standing power-operated hoisting plant, the provision of temporary lighting and water supplies, clearing away rubbish, provision of space storage of plant and materials

1.14 OUTSIDE CONTRACTORS

The Employer shall engage other contractors to perform works not included in the contract. This may include (but may not be limited to) Alarm Systems, Computer Systems, Counters, Furniture, Physical Security Installations, Signage etc. The contractor shall include for co-ordination these works within the Contract.

1.15 DRAWINGS

Drawings will be as attached to this specification and are as follows;

- Dwg. No. LF-CD-001 - Site Location Map.
- Dwg. No. LF-CD-002 – Site Layout Map
- Dwg. No. LF -CD-003 – Existing Floor Plans & Section
- Dwg. No. LF -CD-004 – Existing Elevations.
- Dwg. No. LF -CD-005 – Proposed Floor Plans & Section.
- Dwg. No. LF -CD-006 – Proposed Foundation, Blockwork & roof plans.
- Dwg. No. LF -CD-007 – Proposed Elevations.
- Dwg. No. LF -CD-008 – Proposed Construction Details 1.
- Dwg. No. LF -CD-009 – Proposed Construction Details 2.

1.16 SUBLETTING

No portion of the work may be sublet without the consent of the Surveyor and all subcontractors shall be the responsibility of the main Contractor.

1.17 IRISH MATERIALS

All materials, appliances and fittings for the works shall, where possible, be obtained from manufacturers operating in Ireland, and preference should be given to local suppliers and manufacturers. **All materials must have a Eurocode certificates.**

1.18 LOWEST TENDER

The Employer is not bound to accept the lowest or any tender and the Contractor shall not be remunerated for any expense incurred in making up this tender.

1.19 COVERING UP

No foundations, drains, roofs, walls, floors or other works shall be covered up until they have been inspected and passed by the Surveyor. Any work covered up without proper authority shall be opened up again if so directed, at the Contractors expense.

1.20 WATER

Provide an adequate supply of clean water for the work. Only water fit for human consumption may be used.

1.21 BUILDING REGULATIONS

All work must comply with the Building Regulations 1991 as amended and in accordance with the provisions of the Building Control Act, there is a statutory duty on the Contractor to ensure compliance of all parts of the Works with the regulations. In this regard, the Contractor must examine in detail all aspects of the work specified in this document or shown on the drawings and satisfy himself that it will comply with the regulations when complete. The Contractor must report any apparent or perceived discrepancies between the Tender Documents and the Building Regulations to the Surveyor immediately, and he will be held responsible for ensuring compliance with the Regulations.

1.22 CERT. OF COMPLIANCE WITH THE BUILDING REGULATIONS

As mentioned in 1.21 above there is a statutory duty on the Contractor and Sub-Contractors to ensure compliance with the Building Regulations 1997 and all subsequent amendments. It will be the duty of the Main Contractor to ensure that all work carried out by the Sub-Contractors complies with the Building Regulations. Accordingly, the Main Contractor must sign a certificate of compliance with Building Regulations on completion of their work, which will be given to the Surveyor. It will be a condition of the contract that this certification is supplied.

1.23 HEALTH AND SAFETY LEGISLATION

The Contractor is to provide a Health & Safety Plan for Compliance with the current 'Health, Safety and Welfare at work' (Construction) Regulations and he should provide personnel onsite competent to ensure compliance with these Regulations.

1.24 SAFETY ON SITE

The Contractor shall provide a detailed Method Statement, for the Surveyors approval before commencement, for the safe operation of all site activities, including specific procedures for the separation and safe running of all activities while the contract works are being carried out. The Contractors Safety Representative must be on site at all times during hours of operation.

1.25 COMMENCEMENT NOTICE

The Commencement Notice under The Building Control Act must signed by the Surveyor/Architect, Client & Main contractor.

1.26 NATURE OF THE PROJECT

The Contractor is advised to visit the site and satisfy themselves as to the general conditions under which the work shall be carried out, ascertain the facilities of access thereto, the supply of labour and material the district will afford, the nature, character, dimensions, levels and other features of the site, all existing buildings thereon and adjoining, and all other things insofar as they may have any connection with or affect the full and proper execution of the Works. The contractor is at liberty to carry out any investigations he requires subject to prior permission from the Employer's Representative. The contractor will be deemed to have taken all the above matters into account when tendering, and no claim for any additional payment will be allowed in consequence of the Contractor's failure to do this. Minimal disruption to operation. All temporary screens, fencing, signs and the like shall be maintained and removed on completion including all making good.

1.27 TEMPORARY SERVICES AND FACILITIES

Provide clean fresh water for use on the works, pay all charges in connection therewith, provide temporary storage, plumbing and make good on completion. Provide all artificial lighting and power for use on the works. Pay all charges in connection therewith. Provide all temporary connections, leads, fittings etc. Remove and make good on completion. Provide all temporary foul and surface drains. Pay all charges in connection therewith. Provide and maintain a temporary or mobile telephone service to the Foreman's office and to the offices of such other of the Contractor's site staff as may be necessary for the full period of the works. Pay all charges and expenses in connection therewith. Provide and maintain a temporary facsimile service to the Foreman's office and to the offices of such other of the Contractor's site staff as may be necessary for the full period of the works.

Pay all charges and expenses in connection therewith Temporary buildings The Contractor shall provide an office on the site or otherwise arrange to accommodate site meetings. Provide and maintain temporary accommodation for use of operatives employed on the site. Provide and maintain temporary accommodation for the storage of materials, tools, and machinery. Keep it in clean and sanitary condition at all times. Allow for any repositioning and relocating of temporary accommodation to facilitate progress on site. Allow for removing and making good on completion.

2. DEMOLITION, EXCAVATION AND FOUNDATIONS

2.1 EXCAVATION GENERALLY

The Contractor should fully acquaint himself with all existing and proposed levels before commencement of excavations. Excavate to reduce levels to achieve floor level as shown. All topsoil and subsoil to be disposed of within the site.

2.2 EXCAVATE FOR FOUNDATIONS

Excavate as shown for foundations to a minimum depth of 900 mm below finished ground level and wheel away. The Surveyor shall be notified when the excavations are ready for inspection and no concrete filling shall commence until they are approved by him. (See Drg. No. LF-CD-006 & LF-CD-008 for all details on foundations).

2.3 LEVEL AND RAM EARTH

Level and well ram and consolidate surface of ground and foundations. Soft patches to be filled with hardcore and well rammed. Levels to be made up in lean-mix where soft spots remain.

2.4 RETURN, FILL AND RAM

Return and fill in selected excavated material around foundations and at back of walls up to original ground level or as required, in layers not exceeding 225 mm thick and carefully ram and consolidate with the addition of water if necessary.

2.5 FOUNDATIONS

Final formation of concrete foundations to be agree on site with Building Surveyor/ Engineer. Allow 50mm blinding concrete to be laid on formation of all foundation trenches immediately after excavations.

All foundations to have reinforced steel mesh with 50mm cover to sides and bottom (Mesh type A393 @ 6.16 Kg/m²)

Foundations to be 350mm min. depth and min width to be as shown on Drg. No. LF-CD-006 & 008. Form using 35N 20 concrete. Foundations are to be in accordance with B.S. 8004 1986 and I.S. 326 1988, Code of Practice for structural use of concrete.

2.6 EXCAVATE FREE FROM WATER

The excavations are to be kept free from water and perfectly dry prior to the placing of the concrete.

3. STRUCTURAL WORK

3.1 RISING WALLS

Min. strength of blocks to be 13N/mm² laid in 1:3 cement/sand mortar to I.S. 406. Concrete blocks shall be in accordance with I.S. 189 and comply with I.S. 325 part 1. Lean mix cavity fill to be placed between rising leaves as they are constructed. Allow for a minimum of 4 rows of rising walls.

3.2 WALLS

Blockwork is to be in accordance with IS 20:1987 and this Specification. 100mm blockwork outer leaf, 150mm super silver bead pumped cavity (Thermal Conductivity – 0.033 W/m.k) 100mm blockwork inner leaf, 37.5mm Kooltherm K18 dry lining board on all internal face of external walls, galvanised steel wall ties every 450mm vertically and 450mm longitudinally. Cavity filled to ground level with lean concrete mix. (See Drg. No. LF-CD-008 for wall tie details). Internal face of all external walls to receive sand & cement screed prior to fitting of dry-lining board.

3.3 CONCRETE MIXES

CONCRETE AGGREGATE NOMINAL MIX 28 DAY STRENGTH Mix Max. size Cement Fine Aggregate Graded Course Aggregate N/mm²A 40mm 1 3 6 25B 20mm 1 2 4 25C 14mm 1 3 6
-Note: The water-cement ratio shall be kept to the minimum needed to ensure reasonable workability but should not exceed 35 litres per 50 kg of cement. Ready mixed concrete shall be from an approved supplier and mixes shall be in accordance with B.S. 8110. Concrete is not to be cast while the air shade temperature is below 2 degrees centigrade on a rising thermometer or 5 degrees centigrade on a falling thermometer. Concrete is not to be placed against frozen or frost-covered surfaces.

3.4 GROUND FLOOR

Power floated 75mm liquid screed onto polythene separation layer onto a 120mm Kingspan Thermafloor TF70 floor board on radon membrane, onto 150mm concrete floor to engineers' specification (See Drg. No. LF-CD-008 for all details on floors).

"MONARFLEX" RMB Radon barrier complete with

"MONARFLEX" Top hat & adjustable clips around pipe penetrations

Lapped joints 150mm with "Monarflex" tape to give gas tight joints

Include for Radon sump and Radon vent pipe.

Provide and fit Radon protection system to comply with Part C of the Building Regulations to the new section of the building, using Monarflex Protection system as supplied by Necoflex Ltd, Kilcoole, Co. Wicklow. (tel. 01- 2876111) The system is to consist of a 'Reflex Super' membrane, sump and a ventilation pipe together with in-line fan. The pipework and fittings are to be supplied by the Contractor.

Fit Monarflex Radon Sump to location as shown on plan complete with 100mmdiameter wavin vent pipe terminating in 'Glidevale' tile vent not less than 600mmfrom the nearest opening in the roof. Fit in-line fan to pipe in roof space. Fit Monarflex 'Top hat 'to vent pipe and all other service pipes where they pass through the radon barrier. Damp Proof Membranes generally. Damp proof membranes are to be in accordance with C.P. 102: 1973 and are to be set into walls as shown to ensure against rising damp and to comply with Part C of the Building Regulations. They should be manufactured from polyethythene 2000 gauge (500 microns) with a high geometric pattern to give good mortar grip and should be inert to most common chemical substances. They should be manufactured from a black low-density polyethylene sheet with a mass in the range 0.425Kg/m² to 0.54kg/m² formed from a polyethylene primer of a melt flow rate of five or less when measured according to BS 2782.Installation should be in accordance with the relevant section of CP 102: and must follow normal good practice for the construction of damp proof courses as set out in BS 5628: part 3: 1985 and be in accordance with manufacturer's instructions.

3.5 STAIRCASES

N/A

3.6 STUD PARTITIONS

Vertical studs to be filled with 100mm Rockwool Rollbatt Insulation to Internal Walls for sound insulation. 2 no. layers 12,5mm plasterboard on each side with skim.

3.7 CHIMNEYS

N/A

3.8 PLINTH

Smooth plaster plinth around the perimeter of the extension to match existing dwelling.

3.9 MORTAR

Mortar is to be 1:1:6 cement: lime: sand and shall have the following preliminary strength as determined in the laboratory: 2.5 N/mm² at 28 days. Ready mixed mortars or plasticisers shall not be used without the Surveyors approval.

3.10 CEMENT

Cement to be of Irish manufacture in accordance with I.S. 1, stored in dry conditions.

3.11 LIME

Hydrated lime to be to I.S. 8.

3.12 SAND AND AGGREGATE

Fine aggregates shall be clean sharp pit or river sand, free from impurities and in accordance with I.S. 5.

3.13 HARDCORE

All hardcore to be approved broken stone to pass 75 mm ring, well rammed and blinded on surface.

3.14 WALLPLATES

100x50mm C16 wallplate to be strapped down to wall at 1200mm crs with 30x5mm galvanised steel straps – (See Drg. No. LF-CD-009 for all strapping details).

3.15 WALL TIES

Stainless steel, vertical twist type @450 crs. horizontally & 450 crs. vertically. Staggered spacing throughout & additional ties at each level in blockwork at jambs of doors & window opes – at 225mm centres. (See Drg. No. LF-CD-009 for all locations).

3.16 COURSEBAND 9

Supply and install in outer leaf, galvanised expanded metal "Courseband 9" at 215mm below all cills & over all heads to all round perimeter walls in accordance with Manufacturers spec.

3.17 CILLS & PARAPET & HEAD DETAILS

Concrete cills & heads to all window and door openings to match existing.

3.18 PLASTERING

Firstly, provide sand/cement coat to all internal face of external walls. Then install a 37.5mm Kooltherm K18 dry lining board on all internal wall and horizontal ceiling surfaces to be coated with bonding and skim.

Tape around all window and door junctions (internally) including all service penetrations with sealant tape (intello or similar approved by surveyor) prior to plastering.

External finish to dwelling – Fine Dash plaster finish (White Sand & White Cement mix). All plaster reveals to windows, doors and corners of dwelling to be smooth plaster bands.

3.19 AIR TIGHTNESS

The Blockwork walling is to be constructed in accordance with best practice to ensure that the Air leakage is kept to a minimum. The Elemental Heat Loss method shall be used to demonstrate compliance with the Technical Guidance Document L, Conservation of Fuel and Energy.

As a further guide to achieving better thermal performance and eliminating thermal bridging the Accredited Construction Details published by the Department for Communities and Local Government (DCLG) in the UK.

4. CARPENTRY AND JOINERY

4.1 FIRST FLOOR

N/A.

4.2 ROOF CONSTRUCTION

Flat Roof:

Fibreglass roof on 18mm plywood decking on 1 layer of 125mm Kingspan Therमारoof TR26 LPC/FM insulation board on air and vapour control layer on 18mm plywood decking on timber joists (225x44mm C16s @ 400 c/c) fixed between walls. 37.5mm insulated plasterboard fitted to underside of joist and taped and skimmed.

4.3 COLLARS

N/A

4.4 CEILING JOISTS

225x44mm C16 ceiling joists at 400mm crs. Timber bridges to be fitted at max. 1.35m centres.

4.5 JOINERY

Internal Doors

Internal doors to be minimum 50mm thick shaker style engineered pre-finished white oak doors. Doors to ground floor to be 2032mm x 864mm fixed on 125mm by 50mm (finished) once rebated frames.

Skirting

All Skirting to be 150mm mdf or similar with bevelled edge.

Architraves

All architraves to be 75mm mdf or similar with bevelled edge and rebated.

4.6 CILL BOARDS

25mm hardwood – pre-finished.

4.7 FASCIA, SOFFIT AND BARGEBOARD

Standing seam finish to the fascia with uPVC soffit board. Antricity grey in colour.

4.8 DOORS

External doors to the proposed extension to be full double glazed aluclad doors (Antricity Grey in colour), hung on 100mm x 75mm frame.

4.9 WINDOWS

Double glazed windows 90mm insulated uPVC frame with 1.2 W/m²/K U-Value (white in colour). Close cavities around window and door reveals by returning blockwork and ensure dpc and 50mm Kingspan insulation built in along reveals prior to plastering. Ensure window frame is fixed to masonry as per good practice. Tape around all window and door junctions including all surface penetrations with sealant tape prior to finish skim coat.

4.10 ROOF VALLEYS

GRP PREFORMED VALLEYS 450mm wide min. supported on tilting fillets on 200 x 19mm layboards with welded ends on other side. Roofing slates laid into valley and cut to rake to achieve an open channel 100 to 125mm wide.

All lead valleys, soakers & cover flashings, CODE 5, to be coated with Patination oil, to prevent lead-oxide staining.

4.11 ROOF VENTILATION

Soffit ventilation to equal a 12mm and 25mm continuous gap with fly mesh full length front and rear "Glydevale" Rafter vents RV601. High level ventilation also to be provided in main roof over vaulted ceiling section

5. INSULATION

5.1 ROOF INSULATION

Flat Roof on extension U-Value = 0.16W/m²K

125mm Kingspan Thermaroof TR26 LPC/FM insulation board placed over joists. 37.5mm Kingspan K17 insulated board placed to underside of timber joists. Tape around all wall to ceiling junctions (internally) including all service penetrations with sealant tape (intello or similar approved by surveyor). Air tight membrane to be fitted through entire ceiling of extension

Tape around all wall to ceiling junctions (internally) including all service penetrations with sealant tape (intello or similar approved by surveyor)

6 DRAINAGE / RAINWATER ETC.

6.1 GENERALLY

Allow for diverting of foul and surface water drains. The Contractor is to back fill, repair and make good to all disturbed surfaces, in materials to match existing, where the new sewers are to be laid. The Contractor is to comply in all respects with the requirements of the Building Regulations. All shavings and building rubbish is to be kept away from manholes, gullies, etc.

6.2 MANHOLES

Form new manholes at change of directions and at intervals not exceeding 20.0m.

6.3 GULLIES

Provide and set where agreed, Wavin type deep seal back inlet gully connected to drains

6.4 ARMSTRONG JUNCTIONS

Provide and set where shown Wavin type Armstrong Junctions with galvanized covers and frames. Provide heavy duty covers where shown on drawings and all areas of vehicular access.

6.5 FALLS

The whole of the drains are to be laid to an even and regular fall, and great care is to be exercised in the setting out and determining of the general levels and falls of the drains.

6.6 SURFACE WATER DRAINAGE

All Surface Water to be discharged into surface water drain.

6.7 FOUL DRAINAGE

Lay new 100 dia. Foul sewer line to connect into existing foul sewer manhole.

6.8 RAINWATER GUTTERS/DOWNSPIPES

All gutters and downpipes to be seamless aluminum (Black in Colour)

6.9 SOIL VENT PIPE

Provide and fit 110 mm diameter aluminum soil and vent pipe (Black in Colour).

All underground pipes to be 110mm dia. u.P.V.C. to B.S. 4660 1973, unless specified otherwise, laid to min. fall of 1 in 40 even gradients on a 100mm layer of pea gravel and enclosed in same. A drain running under a building area shall be surrounded by 100mm min. granular or other flexible filling. A drain passing through a wall shall be bridged with a reinforced concrete lintol as per lintol schedule. Drains shall be laid 600mm min. under vehicle areas and 300mm min. under other areas.

Access points shall be either pre-fabricated or constructed of 215mm concrete block on 100mm concrete base with a half round channel benched up min. to the top of the outgoing drain at a slope of 1 in 12. Inspection Chambers up to 1m deep to be 450 x 450mm with med. grade cover (unless other specified) or 450mm dia. prefabricated. Manholes up to 2.7m deep to be 1200x750 with 600x600mm cover or 1200mm circular with 600mm circular cover.

PIPEWORK INSULATION:

Unless the heat loss from a pipe or duct contributes to the useful heat requirement of a room or space it shall be thermally insulated:-

- a - in the case of a pipe, with insulating material which has a thermal conductivity of not more than 0.045w/mk and a thickness equal to the outside diameter of the pipe or 40mm, whichever is lesser; or
- b - in the case of a pipe or duct, in accordance with the relevant recommendations of BS 5422:1990.

7.0 FLOOR, WALL, CEILING FINISHES AND SANITARY APPLIANCES

7.1 GROUND FLOOR

Concrete floors to be left in good condition to allow for floor tiles/timber floors.

All final floor finishes to be carried out by client.

7.2 FIRST FLOOR

N/A

7.3 EXTERNAL WALL FACES

Dashed plaster finish to match existing dwelling.

7.4 INTERNAL WALL FINISHES

Stud partitions covered with plain 10mm thick gyploth board and finished with minimum 5mm thick gypweld.

7.5 CEILINGS

Ground floor ceiling of extension shall be lined with 38.5mm thick plasterboard sheeting. Apply 2 coat work finish in gyplite bonding and gyplite finish.

7.6 PAINTING

All painting to be carried out by client.

Generally, two coats of white matt paint to ceiling and internal wall surfaces including partitions, soffits, interior of cupboards, wardrobes, recesses and under stairs. Two coats of vinyl matt paint to kitchens, bathrooms and WC rooms. Internal woodwork to be knotted, stripped, primed and applied with two undercoats and one finishing coat hard gloss paint. External woodwork to be knotted, stripped, primed and applied with two undercoats and two finishing coats of hard gloss paint.

Schedule of Internal Finishes			
Locations	Walls	Floors	Ceiling
Halls, Living Rooms, Dining Rooms, Dining Areas	Matt emulsion on plaster	300mm x 300mm selected vinyl PVC tiles	Matt emulsion on plaster
Kitchens, Ground Floor Toilets/Bathrooms	Vinyl silk and tiles on plaster	300mm x 300mm selected vinyl PVC tiles	Matt emulsion on plaster
Landing, Bedrooms, Hot press	Matt emulsion on plaster	T and G timber boarding	Matt emulsion on plaster
Bathroom, Toilets upstairs	Vinyl silk and tiles on plaster	300mm x 300mm selected vinyl PVC tiles	Matt emulsion on plaster
Attic, Storage, Tank Area	(Exposed timbers)	(Exposed timbers)	(Exposed timbers)

8. MECHANICAL AND ELECTRICAL SERVICES

8.1 HEATING INSTALATION

Tie into existing gas heating system.

The space and water heating systems are to comply with the requirements of the Building Regulations, 2002, Part L, Section 3 in relation to the insulation of tanks, pipes and ducts

8.2 ELECTRICAL INSTALLATION

Tie into existing electrical system. Electrical installation shall comply with the National Rules for Electrical Installations, Part 1 and 2.1, as published by the Electro Technical Council of Ireland.

Smoke detectors to be ionisation mains powered smoke alarms with rechargeable lithium power cells – type EI151 TL as supplied by EI company Ltd, Shannon, or similar approved.

Heat sensors shall be fast response thermistor type with rechargeable lithium power cells – type EI151 TL as supplied by EI company Ltd., Shannon, or similar approved. All smoke detectors and heat sensors to be interlinked.

WALL MOUNTED SOCKET OUTLETS AND SWITCHES:

Wall mounted socket outlets and switches (other than isolators) in the entrance storey and where appropriate the principal storey shall be located not more than 1200mm or not less than 450mm above the floor level. The cord of a pull cord switch shall terminate not less than 1200mm above the floor level.

Electrical contractor shall be responsible for correct positioning of all electrical fittings to ensure full compliance with current Building Regulations.

8.3 Ventilation

Ventilation to comply with Building Regulation 2009, Part F. Where mechanical extract ventilation is used, it shall be controlled by a humidistat.

Were used, mechanical extract terminals, passive stack extract vents and extract fans should be placed as high as practical and no greater than 400mm below ceiling level. Cooker hoods should generally be located 650mm to 750mm above the hob surface unless otherwise recommended by manufacturers. Mechanical extract fans should be chosen to achieve the specified airflow rate having regard to location, length and type of ducting and size and type of discharge grille. Axial fans are normally only suitable for use with short length of through-the-wall ducting of the same size as the fan outlet.

9. EXTERNAL WORKS

9.1 CONCRETE PATHS AND PAVED AREA

1200 x 100mm concrete footpath grade 25N20 concrete, on 100mm blinded and compacted hardcore around perimeter of extension.



Property Damage • Certified Insurance Practitioners • Building Surveyors
Domestic, Commercial & Industrial

Upper Faughart, Dundalk, Co. Louth



TENDER SUBMISSION

20.03.26

Re: Proposed construction of a single storey rear extensions to an existing dwelling house and associated site development works at 241 Greenfield Court, Dundalk, Co. Louth A91 DD5D.

Client: Luis Andres Romeral Fernandez

We offer to complete the works on the terms of the described tender with its said documents for the lump sum of

€ _____ + VAT @ 13.5%

€ _____ Incl VAT

An element breakdown of the tender is attached at appendix

Signed: _____

On Behalf of:- _____

Date:- _____



Property Damage • Certified Insurance Practitioners • Building Surveyors
Domestic, Commercial & Industrial

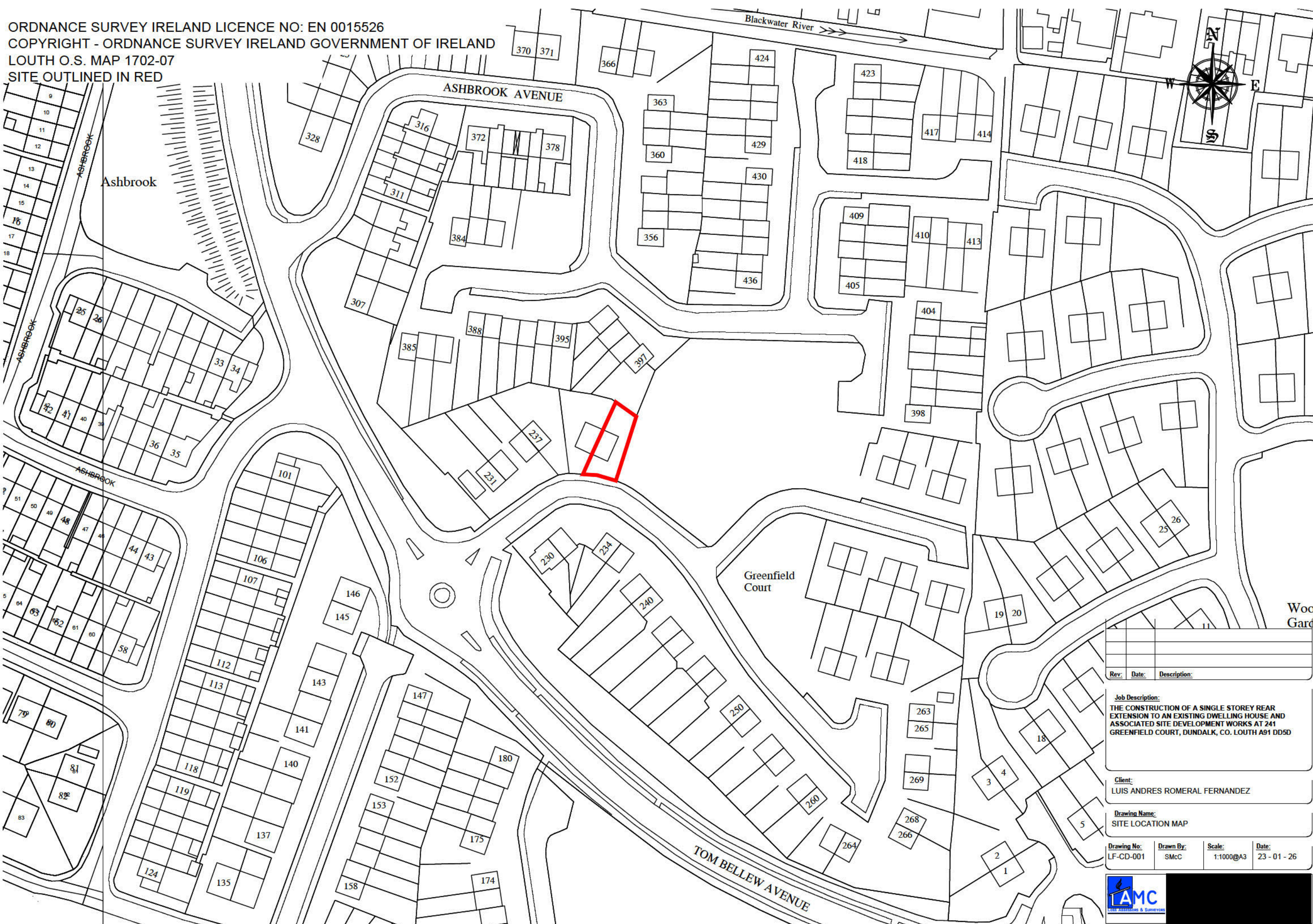
Upper Faughart, Dundalk, Co. Louth

APPENDIX A

Tender Breakdown

Preliminaries	€
Demolition & Temporary works	€
Sub & Super Structure	€
Electrical	€
Plumbing	€
Windows & External Doors	€
First & Second Fix Carpentry	€
Plastering	€
External Ground works	€
<hr/>	
SUB TOTAL EX VAT	€
VAT @ 13.5%	€
TOTAL	€

ORDNANCE SURVEY IRELAND LICENCE NO: EN 0015526
COPYRIGHT - ORDNANCE SURVEY IRELAND GOVERNMENT OF IRELAND
LOUTH O.S. MAP 1702-07
SITE OUTLINED IN RED



Rev:	Date:	Description:

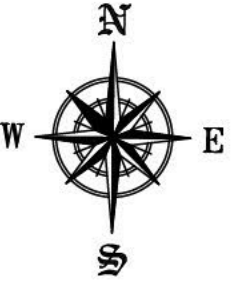
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THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

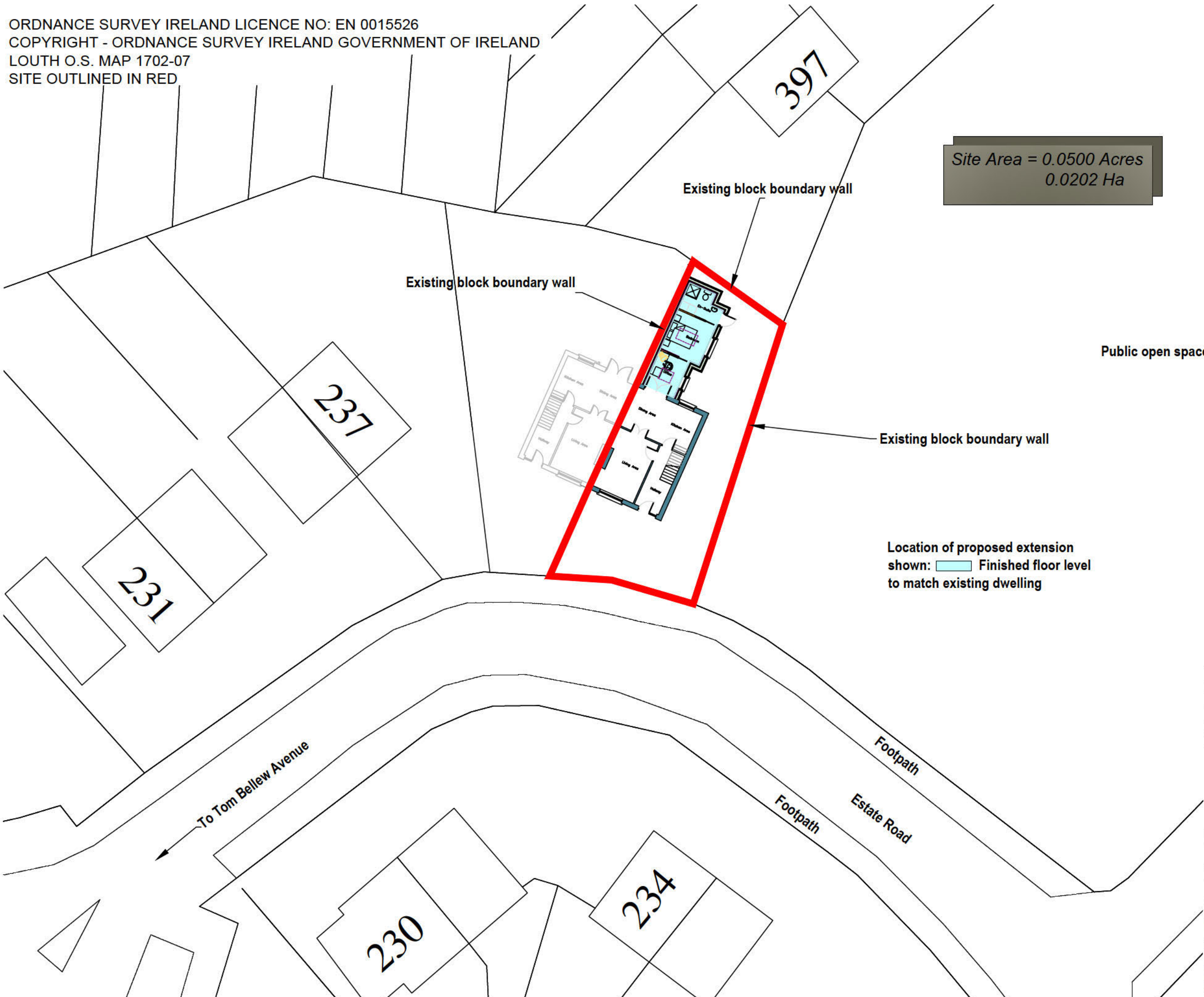
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SITE LOCATION MAP

Drawing No: LF-CD-001	Drawn By: SMcC	Scale: 1:1000@A3	Date: 23-01-26
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Site Area = 0.0500 Acres
 0.0202 Ha



Public open space

Location of proposed extension shown: Finished floor level to match existing dwelling

Rev	Date	Description

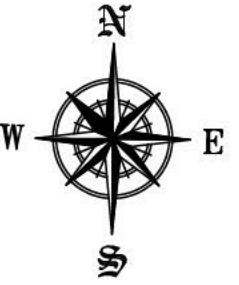
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 THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

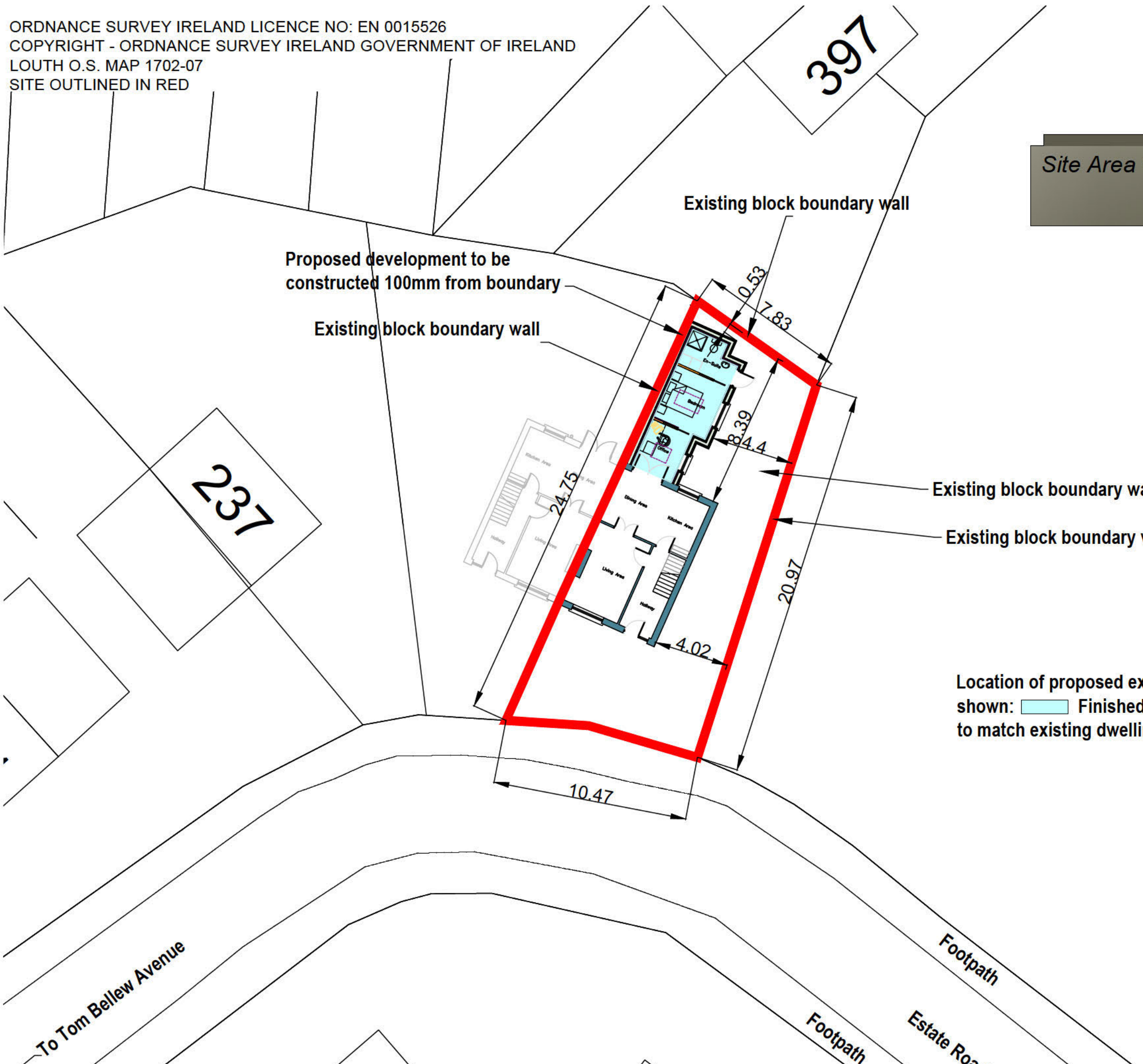
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 SITE LAYOUT MAP

Drawing No: LF-CD-002	Drawn By: SMcC	Scale: 1:1000@A3	Date: 23 - 01 - 26
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Site Area = 0.0500 Acres
 0.0202 Ha



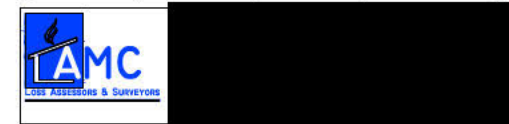
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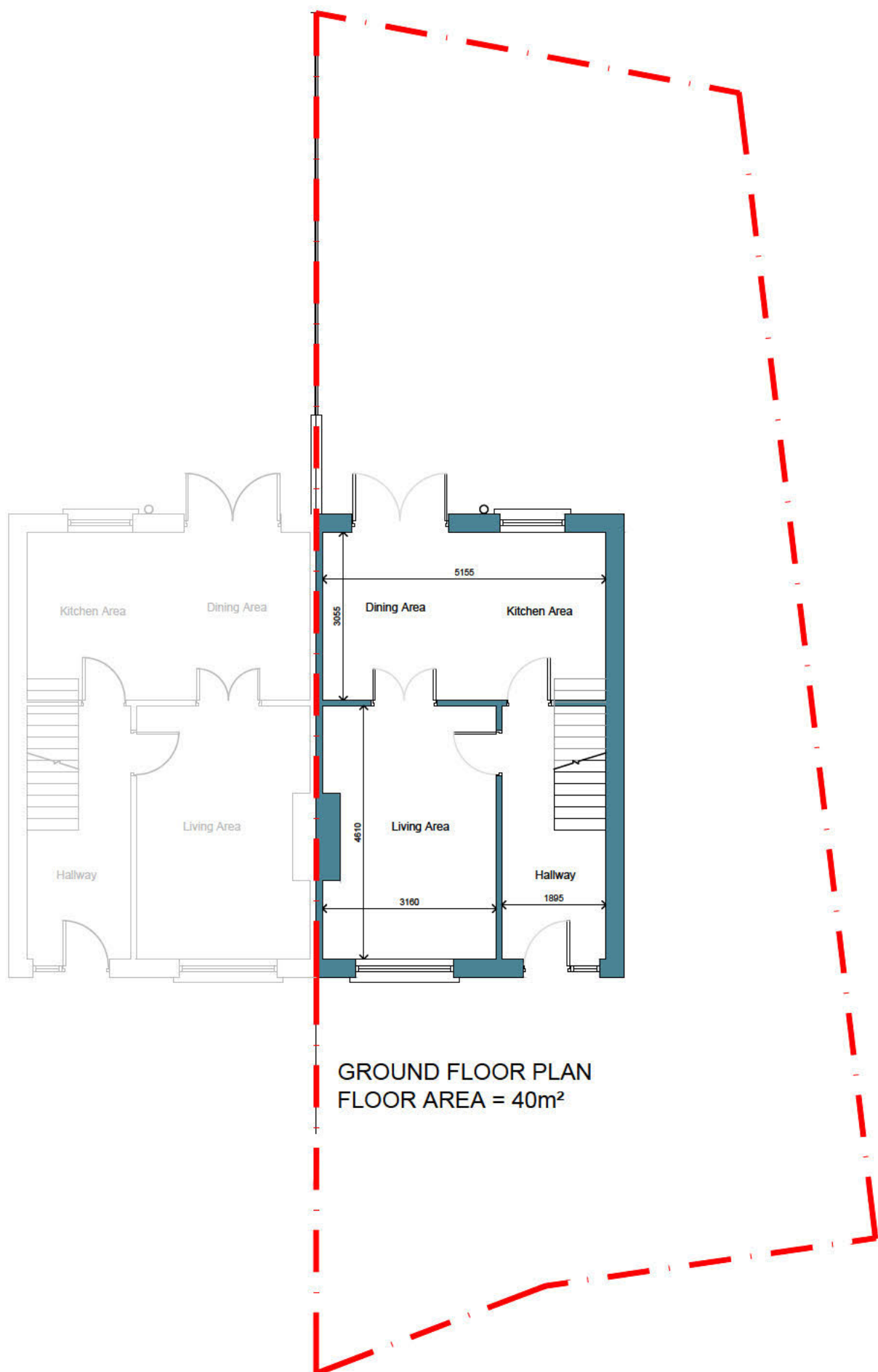
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 THE CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

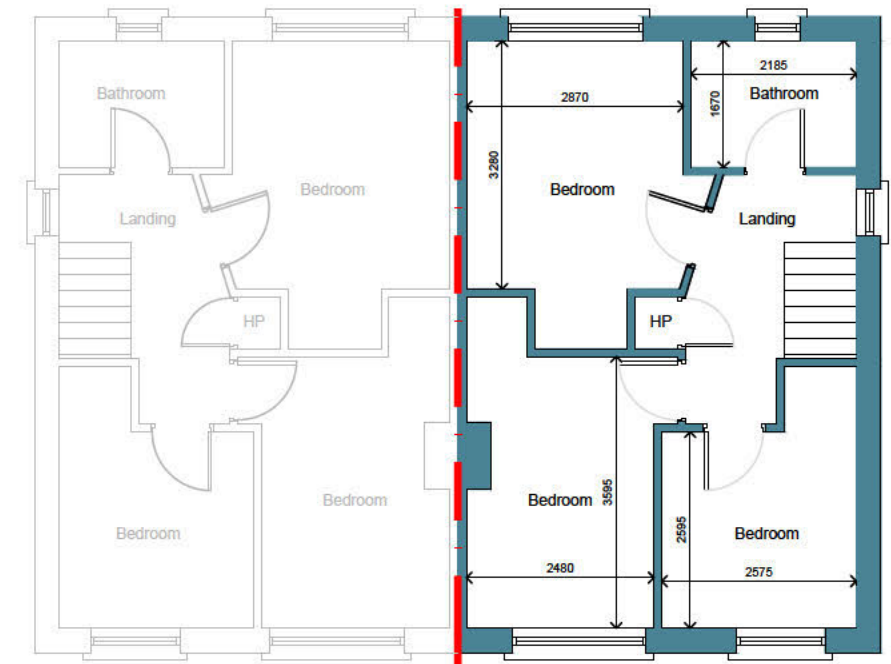
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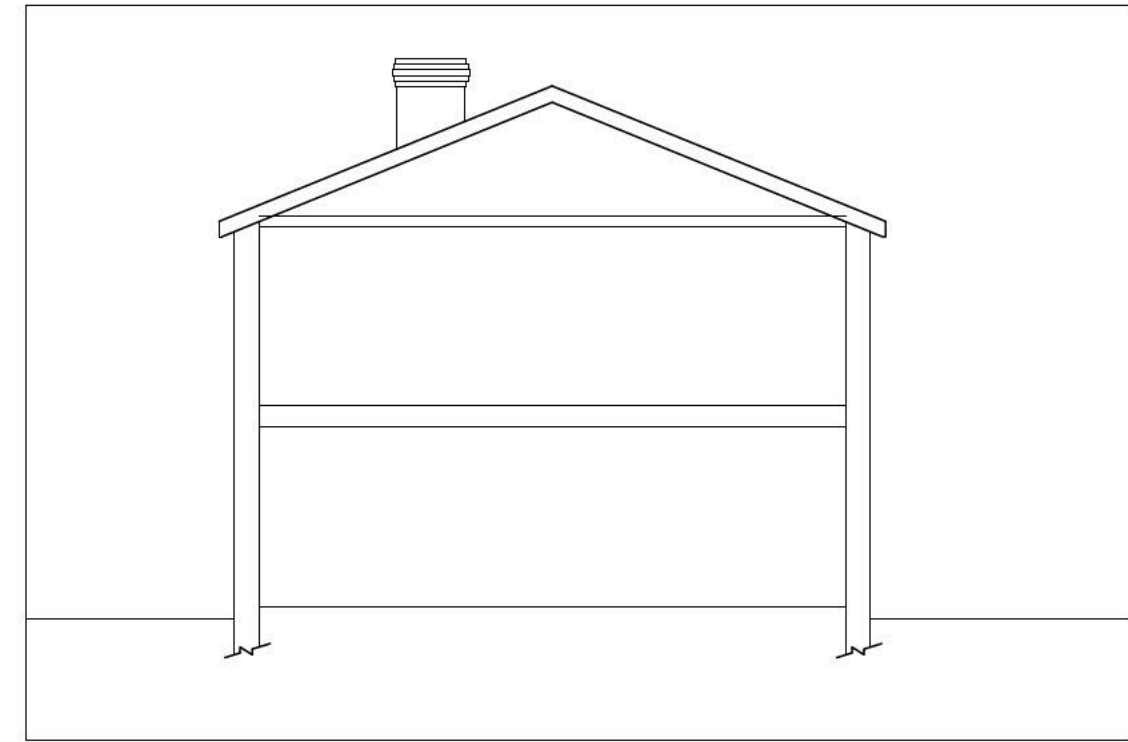




GROUND FLOOR PLAN
FLOOR AREA = 40m²



FIRST FLOOR PLAN
FLOOR AREA = 40m²



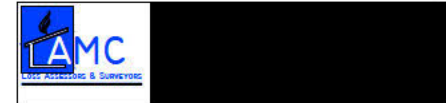
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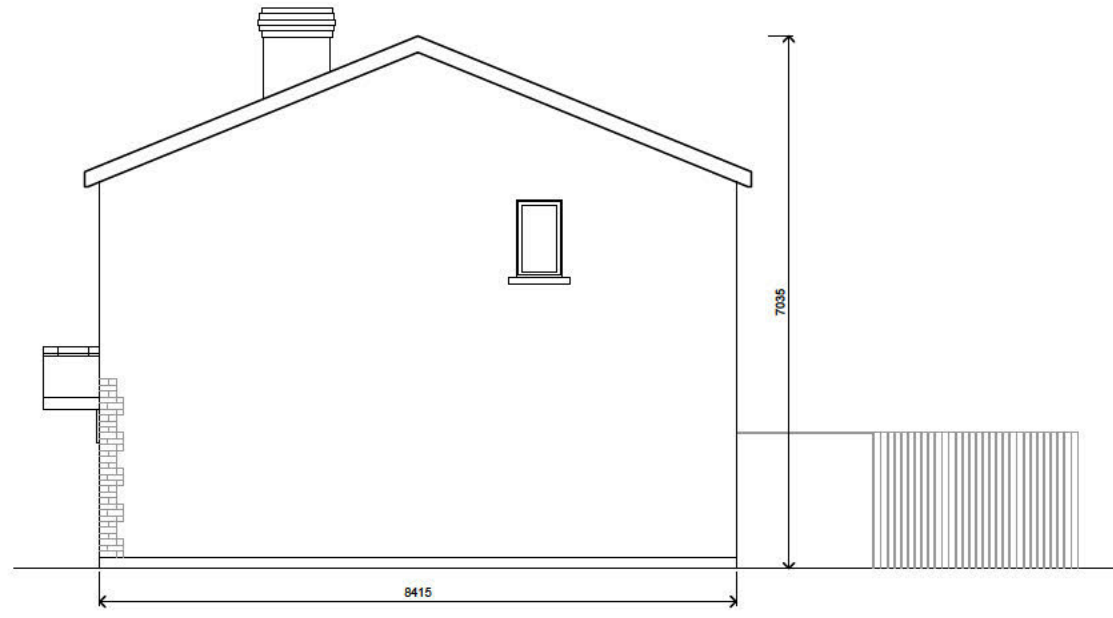
Job Description:
PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 D05D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
EXISTING FLOOR PLANS & SECTIONS

Drawing No:	Drawn By:	Scale:	Date:
LF-CD-003	SMcC	1:100@A3	28 - 01 - 26





Rev:	Date:	Description:

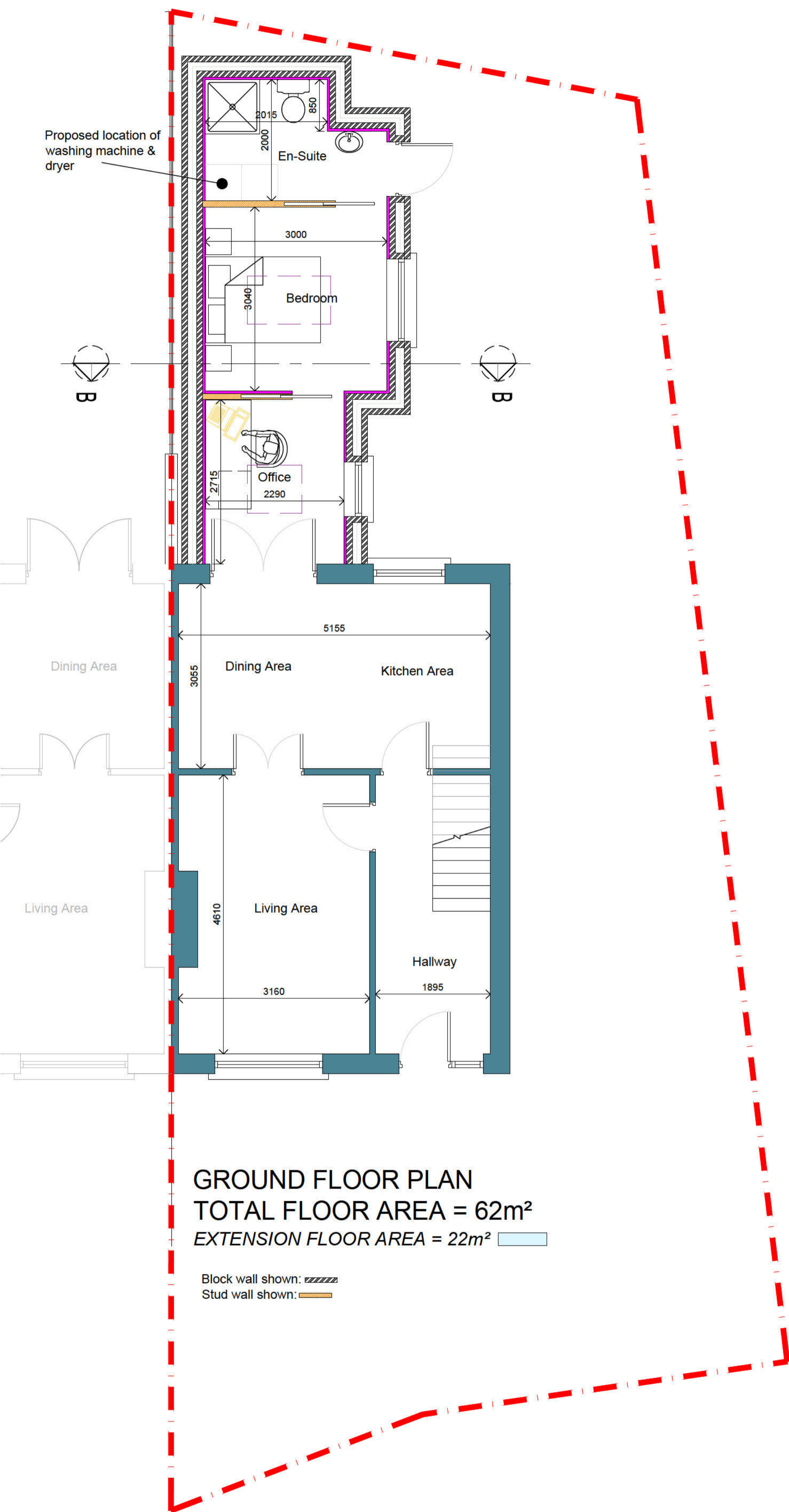
Job Description:
 PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 D05D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 EXISTING ELEVATIONS

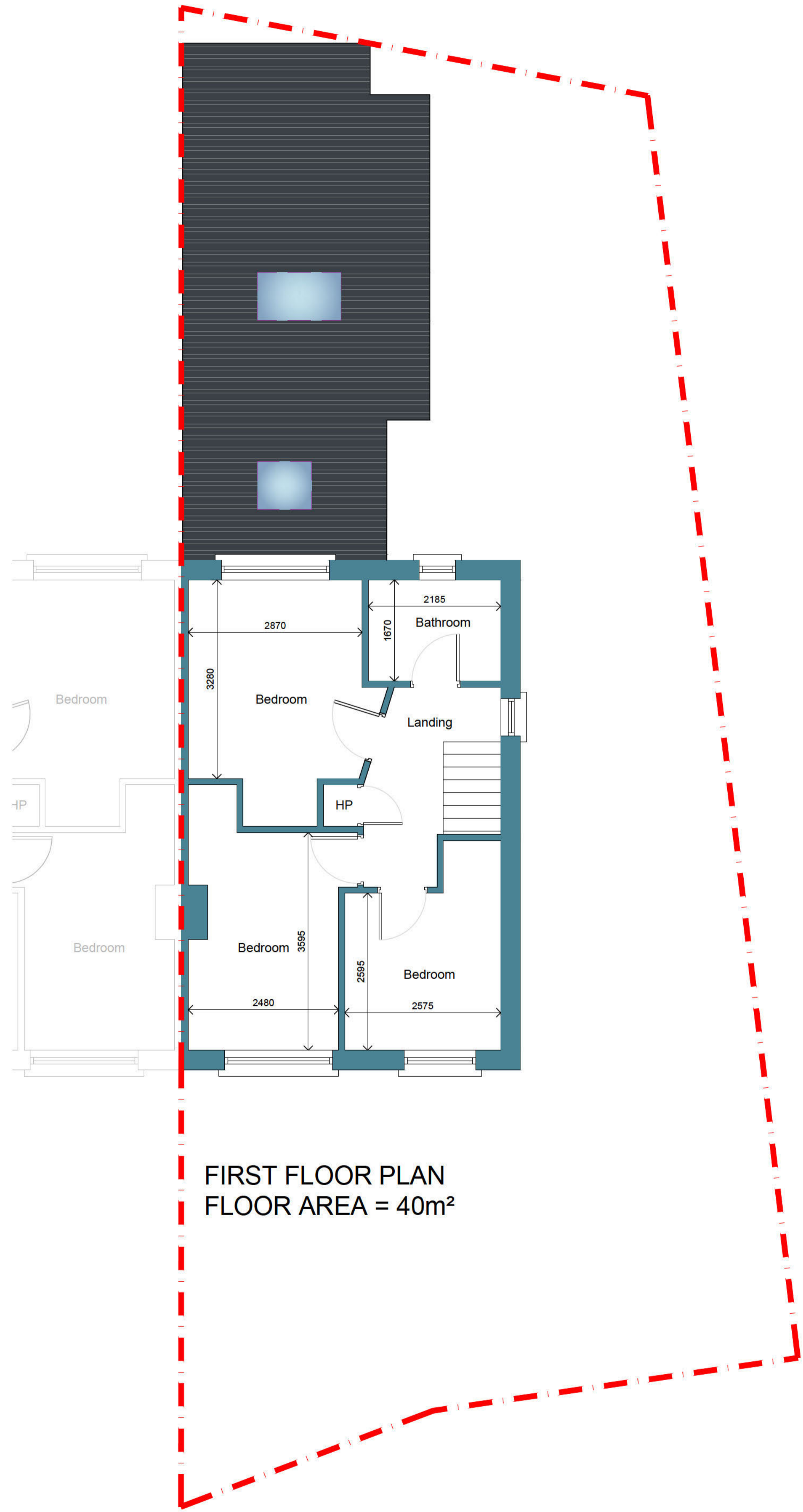
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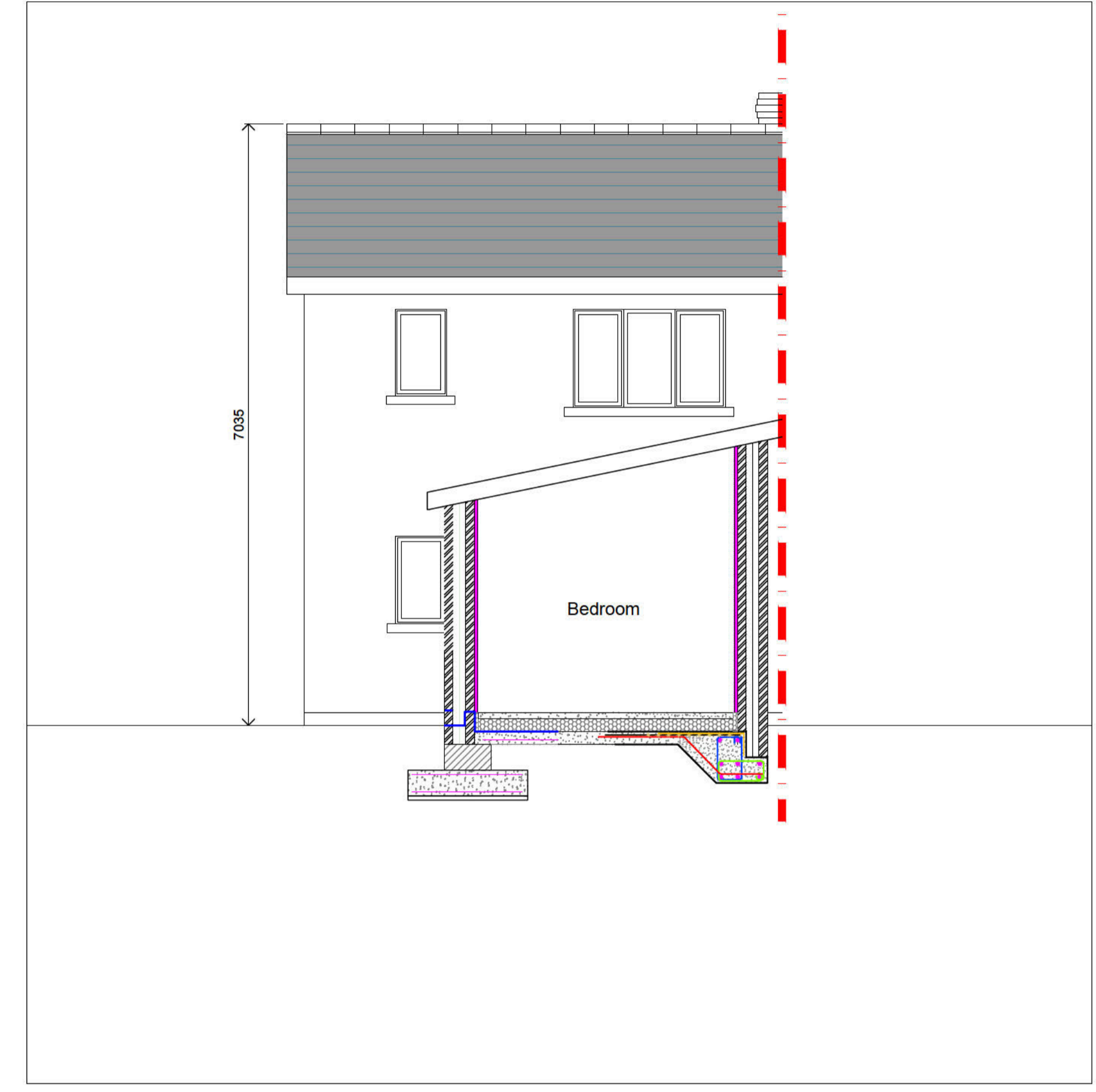


GROUND FLOOR PLAN
TOTAL FLOOR AREA = 62m²
EXTENSION FLOOR AREA = 22m²

Block wall shown: Stud wall shown:



FIRST FLOOR PLAN
FLOOR AREA = 40m²



ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

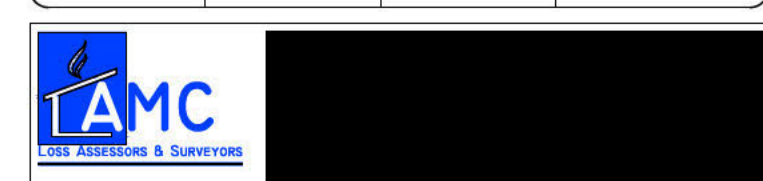
Rev.	Date	Description

Job Description:
 PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 PROPOSED FLOOR PLANS & SECTIONS

Drawing No: LF-CD-005	Drawn By: SM&C	Scale: 1:50@A1	Date: 28-01-26
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- NOTES:**
- CONCRETE TO HAVE A MIN. DESIGN STRENGTH OF C28/35 (35N/mm²) AT 28 DAYS. CONCRETE MIX TO BE IN ACCORDANCE WITH I.S. EN 206-01.
 - MAX. SIZE OF AGGREGATE TO BE 20mm U.N.O.
 - REINFORCEMENT:
 - "H" = HIGH YIELD STEEL = 500N/mm².
 - NO DRAWINGS TO BE FORMED IN THE CONCRETE WORK OTHER THAN DRAWN, WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS I.E.:
 - ARCHITECTS DRAWINGS,
 - ENGINEERS DRAWINGS,
 - BAR BENDING SCHEDULES.
 - ANY DISCREPANCIES IN DIMENSIONS OR DETAILS SHOULD BE REPORTED TO THE STRUCTURAL ENGINEER BEFORE CONSTRUCTION.
 - MIN. COVER TO ALL REINFORCEMENT IN FOUNDATION IS 75mm.
 - MASONRY STRENGTH:
 - BELOW DPC = 15N/MM².
 - ABOVE DPC = 7.5N/MM².
 - ALL MASONRY 'GROUP 1' & 'CATEGORY 1' TO S325 AND ECE.
 - ALL WALL INTERSECTIONS TO BE FULLY BONDED.
 - ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE.
 - BOTTOMS OF ALL EXCAVATIONS TO BE TAKEN DOWN TO FIRM BEARING TO THE SATISFACTION OF THE ENGINEER ON SITE.
 - REFER TO ARCHITECTS DRAWINGS FOR SERVICE OPENINGS ETC.
 - WALL TIES- USE TYPE 3 (300MM) STAINLESS STEEL WALL TIE
 - INSTALL WALL TIES AT 450C/C HORIZONTAL AND 450 C/C VERTICALLY.
 - INSTALL WALL TIES @ 225C/C VERTICALLY & HORIZONTALLY AROUND ALL OPES AND MAX. 225MM FROM EDGE
 - WALL TO BE APPROVED BY DCE IRL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF ALL ELEMENTS OF CONSTRUCTION DURING THE PROGRESS OF THE WORKS AND IS TO PROVIDE ALL TEMPORARY SUPPORTS OR BRACING NECESSARY TO MAINTAIN STABILITY AT ALL TIMES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STRUCTURE FROM ADVERSE WEATHER CONDITIONS THROUGHOUT THE DURATION OF THE WORKS. PROPOSAL FOR PROTECTION ARE TO BE SUBMITTED TO THE ARCHITECT FOR RELEVANT WORK ITEMS.
 - TYPES OF MORTAR MIX:
 - MORTAR MIX DESIGNATED M6 BELOW DPC
 - MORTAR MIX DESIGNATED M4 ABOVE DPC
 - ALL MASONRY TO BE TIED INTO CONCRETE & STEEL COLUMNS USING WALL TIES SHOT FIXED AT @ 225 C/C VERTICALLY.

HAZARD IDENTIFICATION NOTES

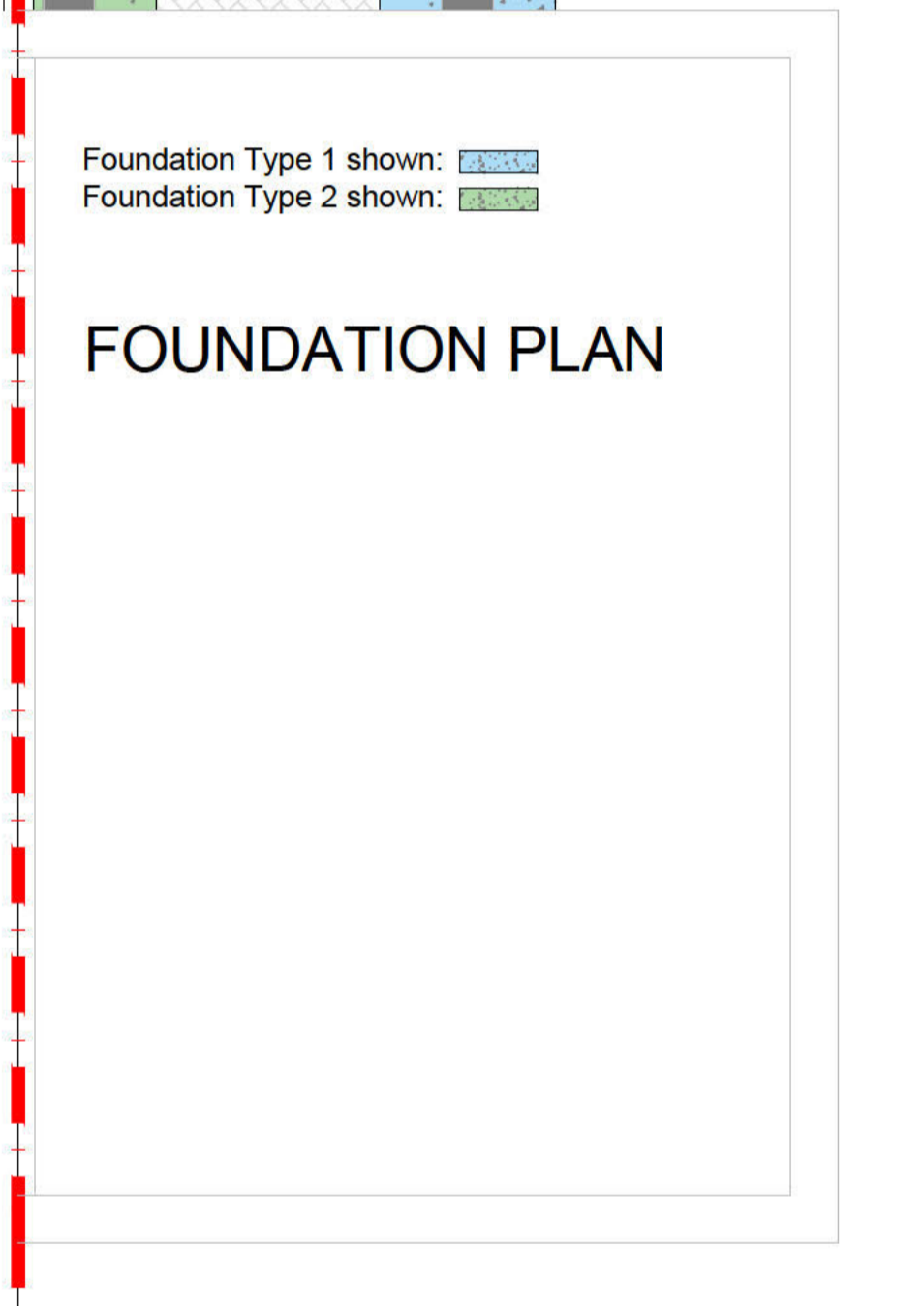
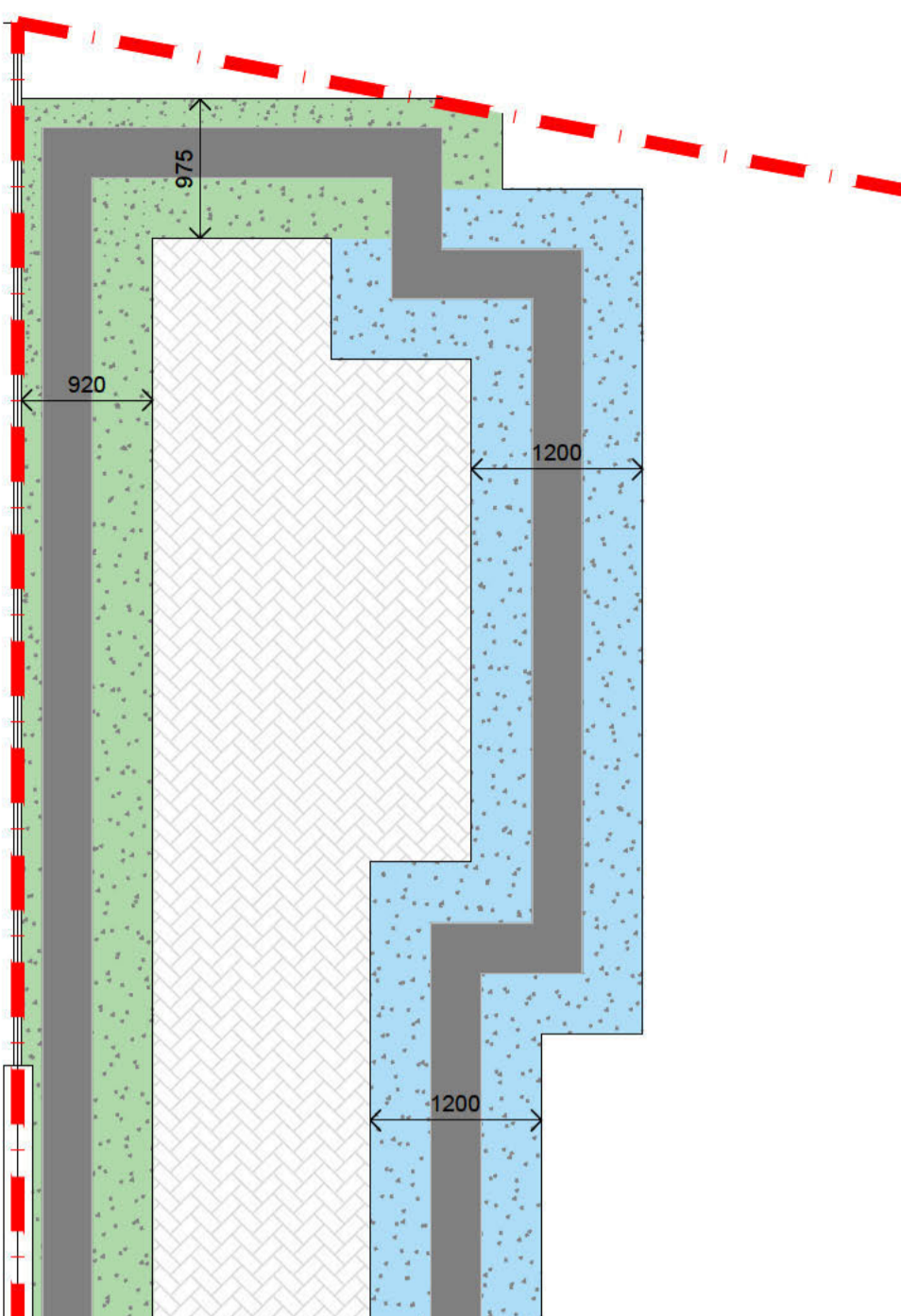
- TRENCH FULL CONCRETE SHOULD BE PLACED IMMEDIATELY AFTER EXCAVATION IS MADE TO ENSURE BEARING STRATUM DOES NOT DETERIORATE AND TRENCHES REMAIN STABLE.
- ALL UNSAFE TRENCHES TO BE BATTERED BACK TO A SAFE LEVEL.

EXCAVATION NOTES

- IF AN EXCAVATION IS TO BE CARRIED OUT CLOSE TO AN EXISTING BUILDING, THE CONTRACTOR MUST TAKE ALL NECESSARY STEPS TO ENSURE THAT THE FOUNDATIONS TO NEARBY BUILDINGS ARE NOT UNDERMINED OR DAMAGED.
- UNDERMINING IS DEFINED AS ANY EXCAVATION (INCLUDING WORKING SPACE) WHICH ENCRUSCHES ON A 45 DEGREE LINE PROJECTED DOWNWARDS FROM THE BOTTOM CORNER OF THE EXISTING FOUNDATION.
- WHERE DETAILS ARE INDICATED ON DRAWINGS, THE CONTRACTOR MUST NOT DEVIATE FROM THESE DETAILS. WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. IF APPROPRIATE DETAILS ARE NOT SHOWN ON THE DRAWINGS, PLEASE INFORM THE ENGINEER IMMEDIATELY.
- IF IT BECOMES APPARENT THAT THE DETAILS OF THE EXISTING FOUNDATIONS OR SUB-STRUCTURES ARE NOT AS ASSUMED, THE CONTRACTOR MUST TAKE ALL NECESSARY STEPS TO ENSURE THAT THE FOUNDATIONS ARE NOT UNDERMINED OR DAMAGED, AND THAT THEY ARE PROTECTED AGAINST DAMAGE.

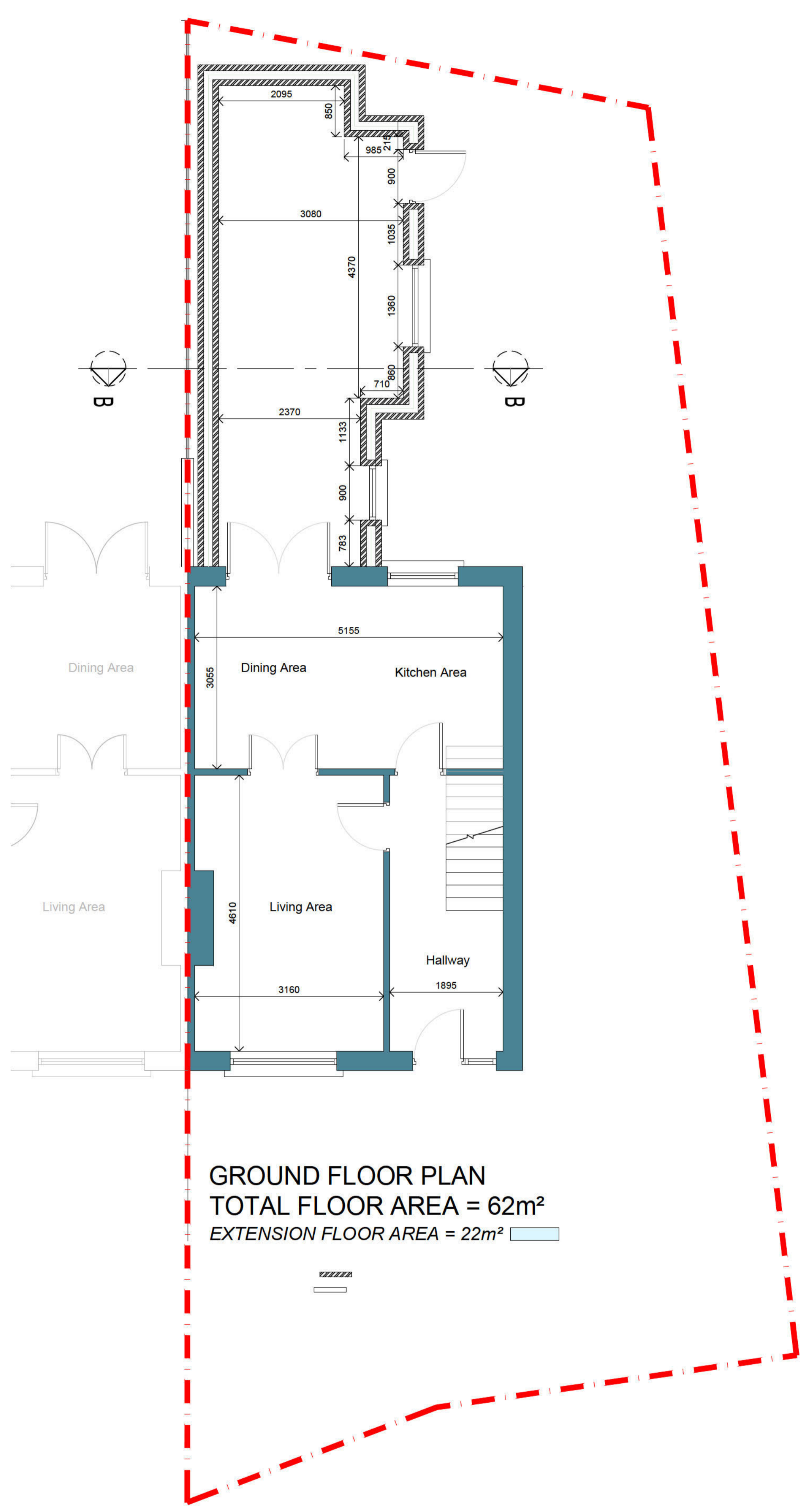
FOUNDATION NOTES:

- A393 MESH REQUIRED IN STRIP FOUNDATION. MIN. COVER: 75mm OR 50mm IF C16 CONCRETE BLENDED IS USED.
- MINIMUM 450MM LAP LENGTH ON A393 MESH.
- STRIP FOUNDATIONS ALL 300mm DEEP (WIDTHS AS SHOWN ON PLAN).
- FOUNDATIONS DESIGNED FOR MIN. BEARING PRESSURE OF 75kN/m².
- FORMATION LEVEL OF FOUNDATIONS TO BE CONFIRMED ON SITE BY SUPERVISING ENGINEER.

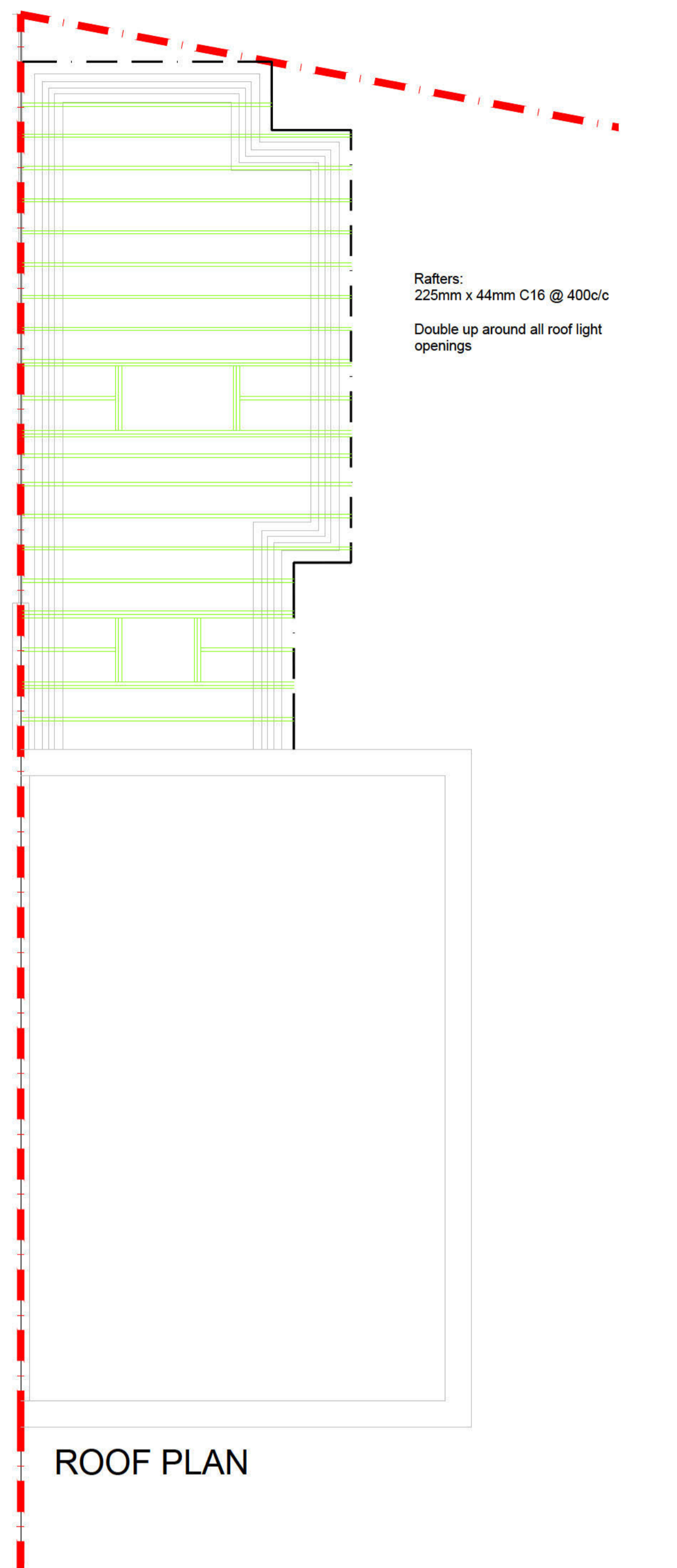


Foundation Type 1 shown:
 Foundation Type 2 shown:

FOUNDATION PLAN



GROUND FLOOR PLAN
TOTAL FLOOR AREA = 62m²
EXTENSION FLOOR AREA = 22m²



ROOF PLAN

Rafters:
 225mm x 44mm C16 @ 400c/c
 Double up around all roof light openings

ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

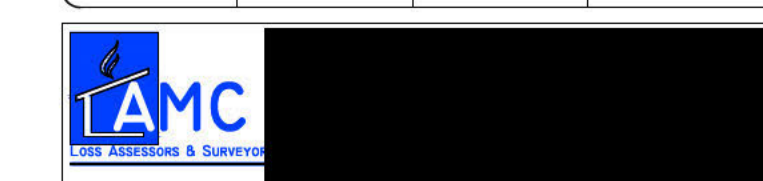
Rev.	Date	Description

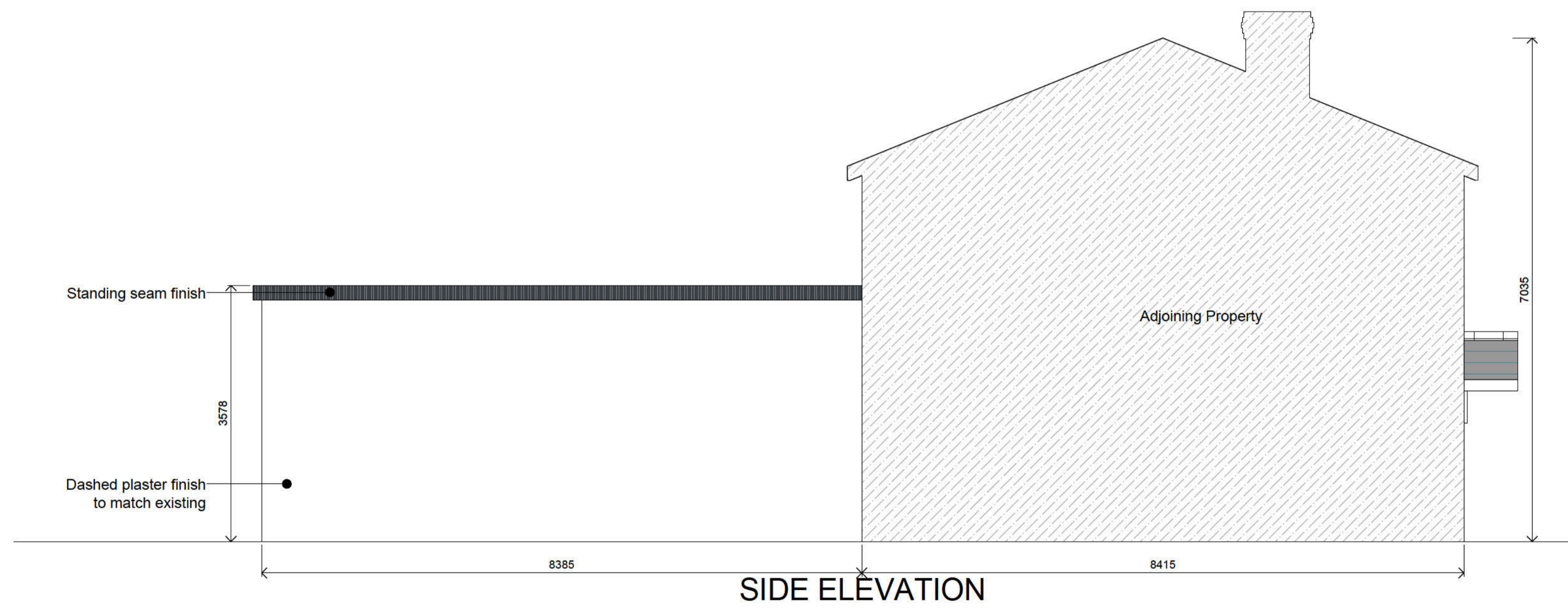
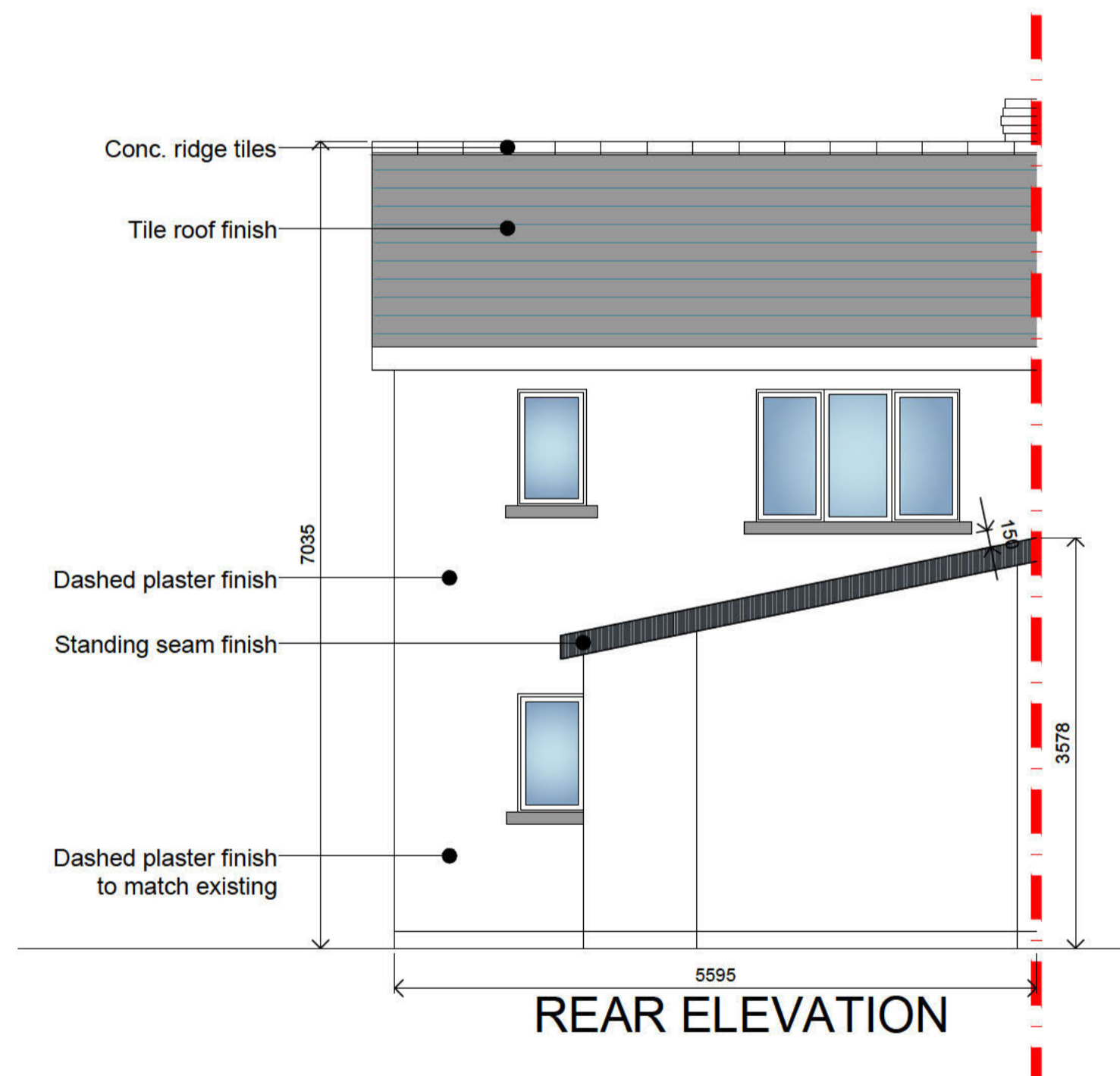
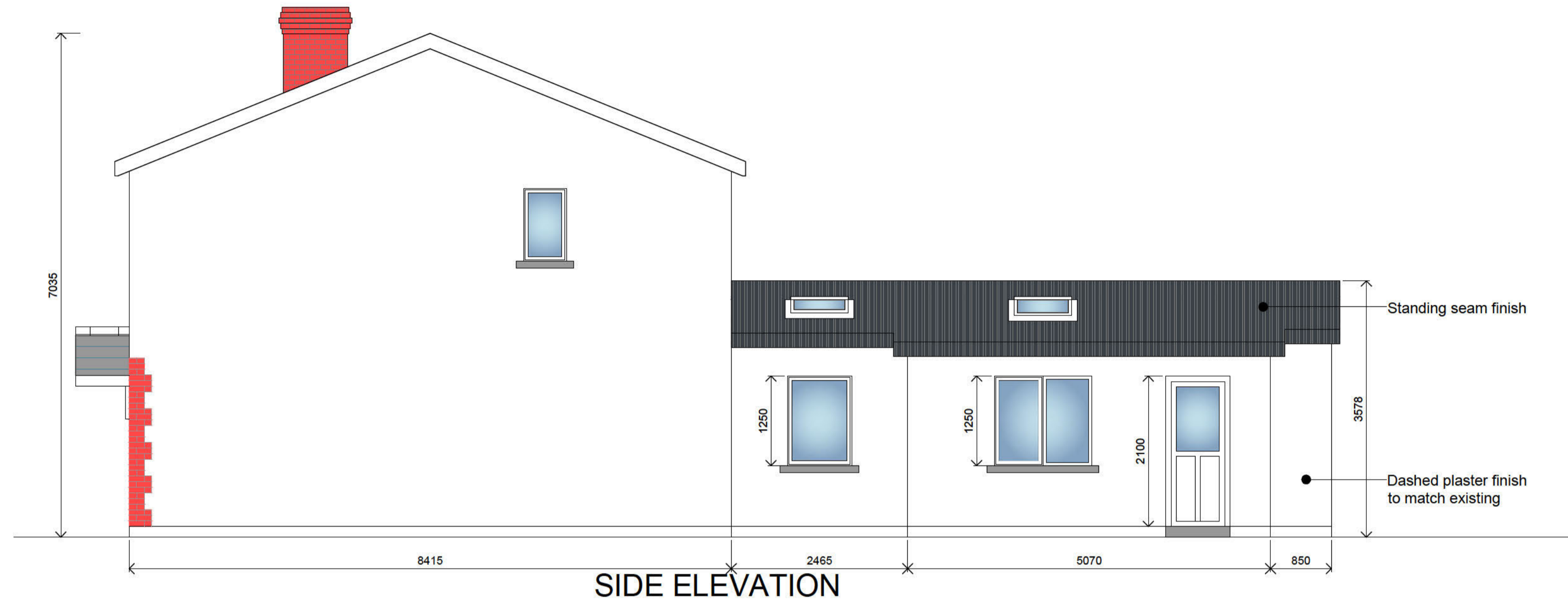
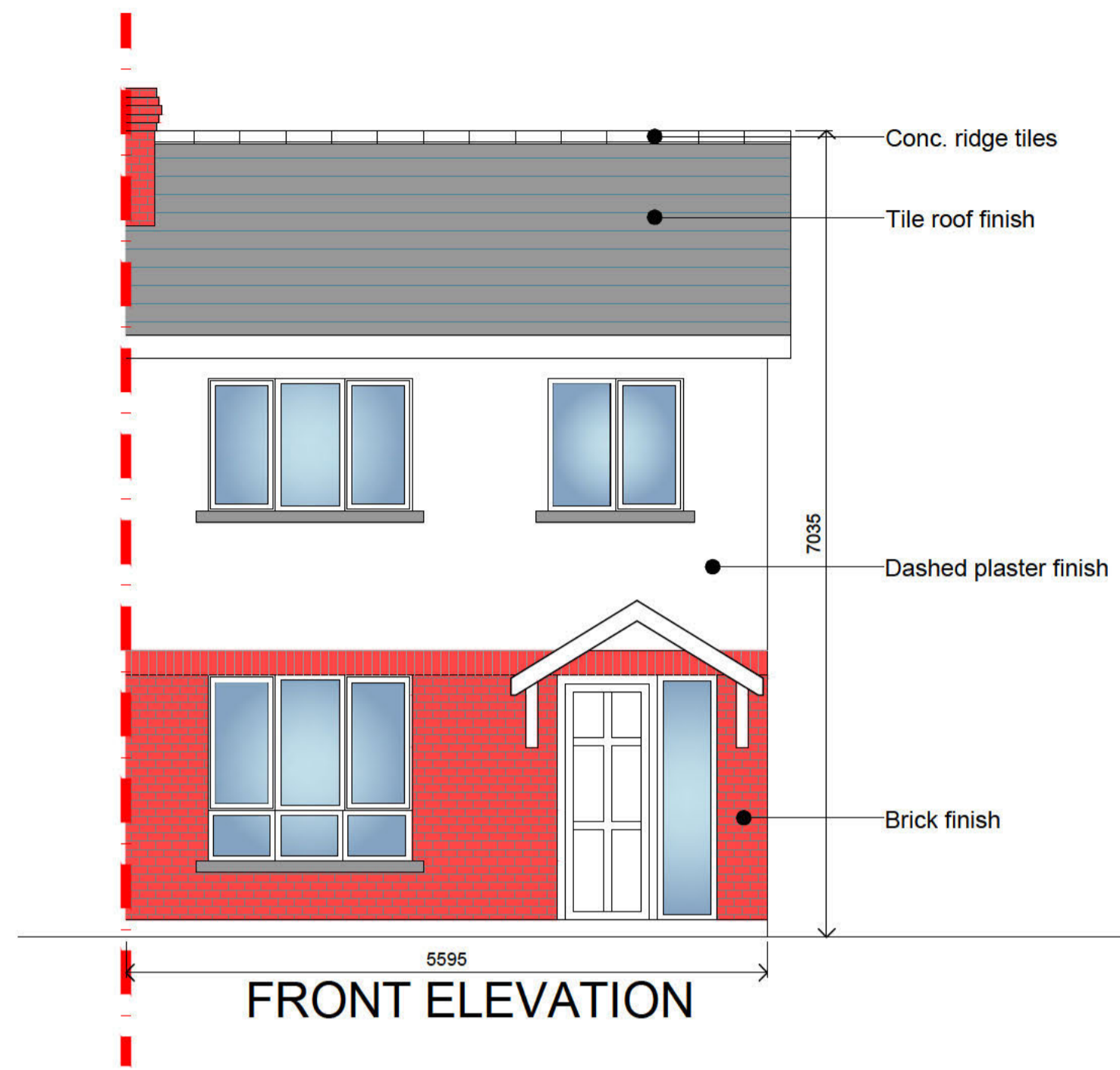
Job Description:
 PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
 PROPOSED FOUNDATION, BLOCKWORK & ROOF PLANS

Drawing No.	Drawn By:	Scale:	Date:
LF-CD-006	SMcC	1:50@A1	28-01-26





ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

Rev:	Date:	Description:

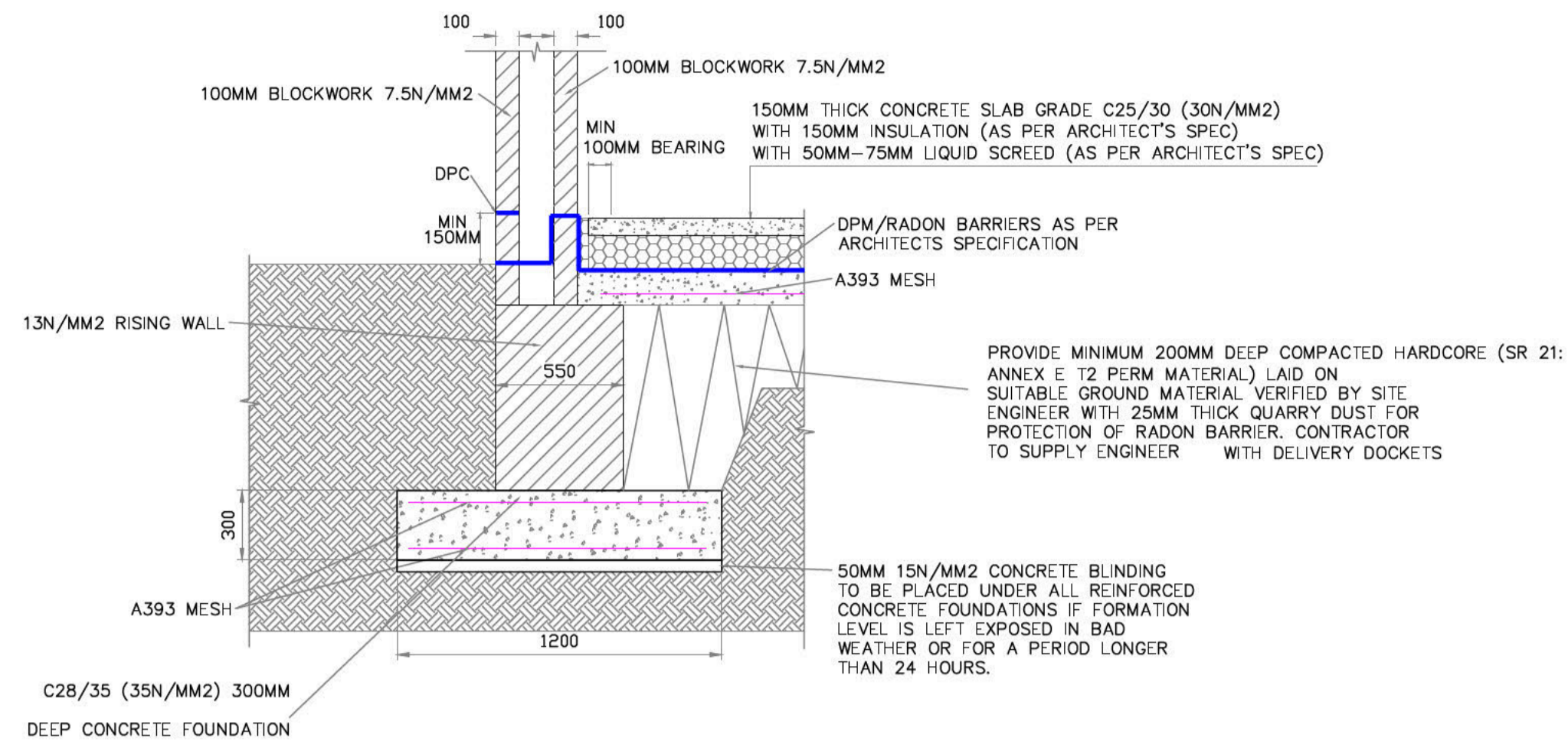
Job Description:
 PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
 LUIS ANDRES ROMERAL FERNANDEZ

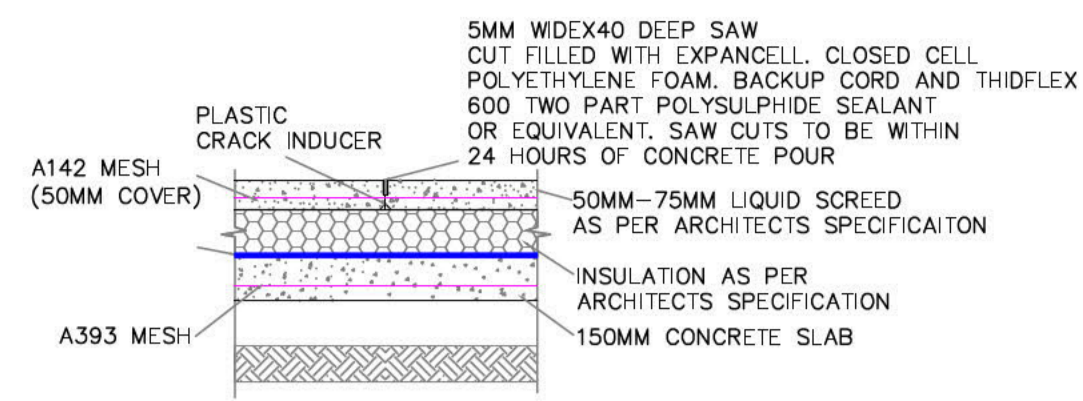
Drawing Name:
 PROPOSED ELEVATIONS

Drawing No: LF-CD-007
Drawn By: SM&C
Scale: 1:50@A1
Date: 28 - 01 - 26

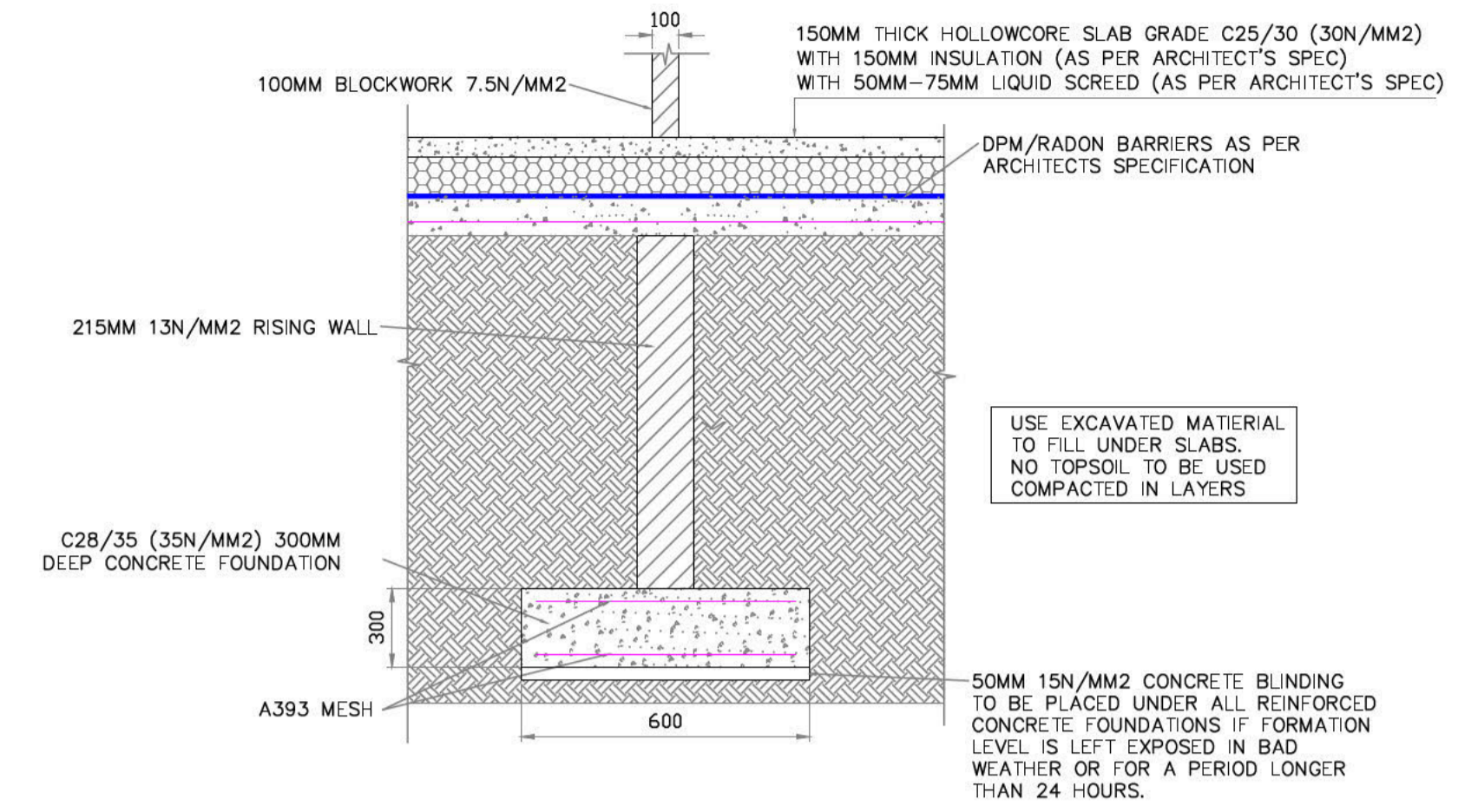




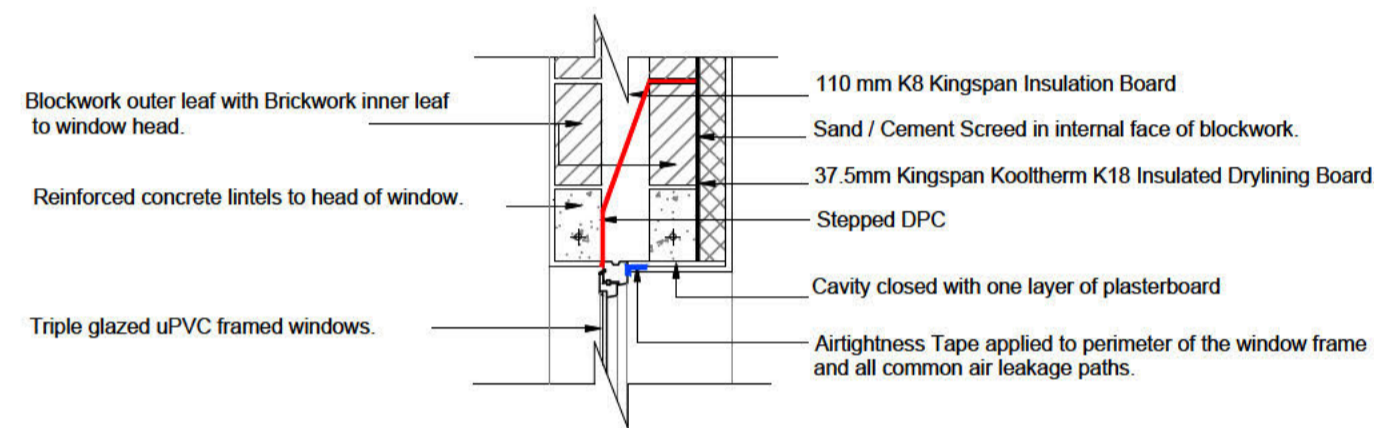
DETAIL 1
Foundation type 1 & Floor Detail



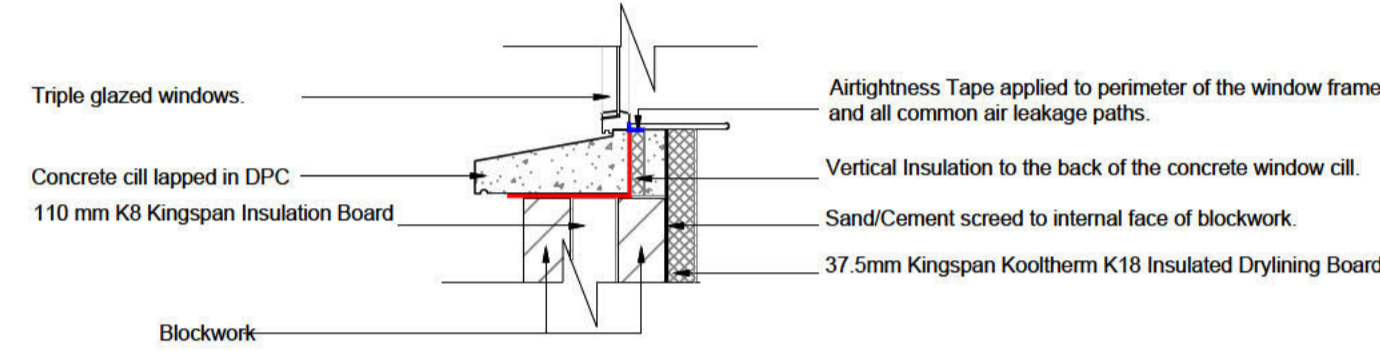
DETAIL 2
Typical Saw Cut Detail



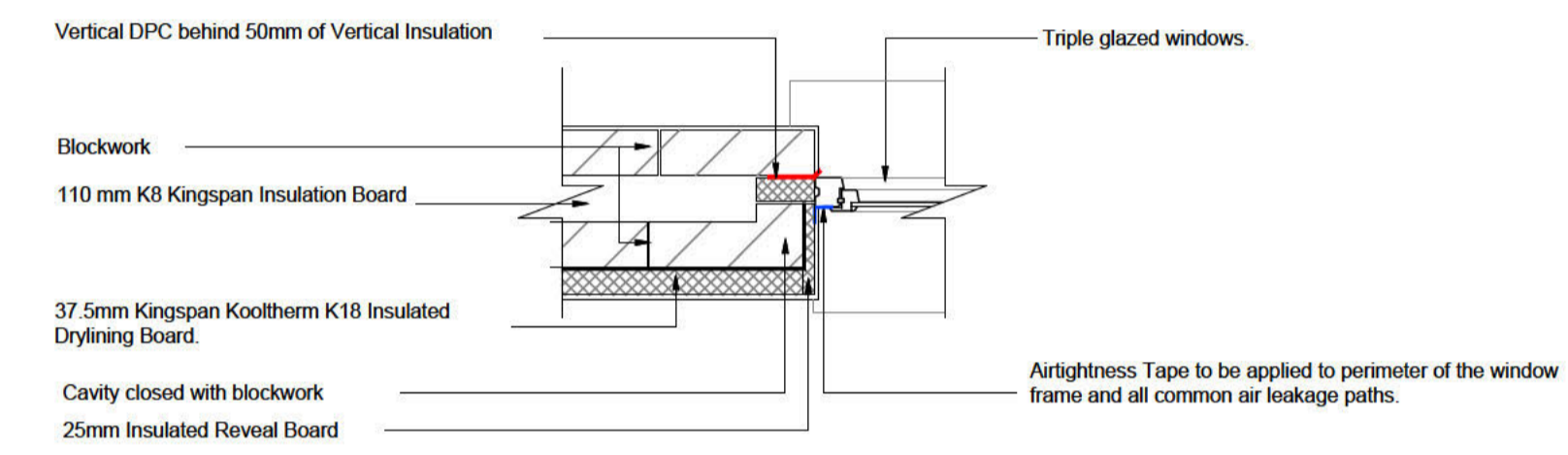
DETAIL 3
Internal Wall Detail



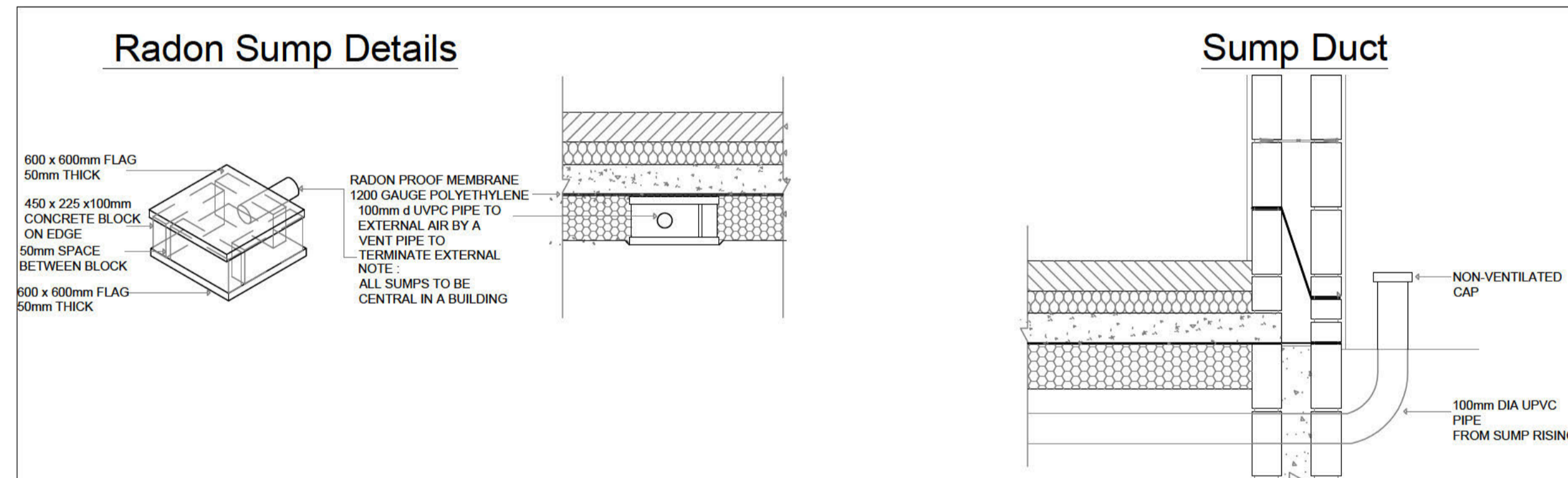
DETAIL 4
Lintel
to External Wall with Smooth Plaster Finish



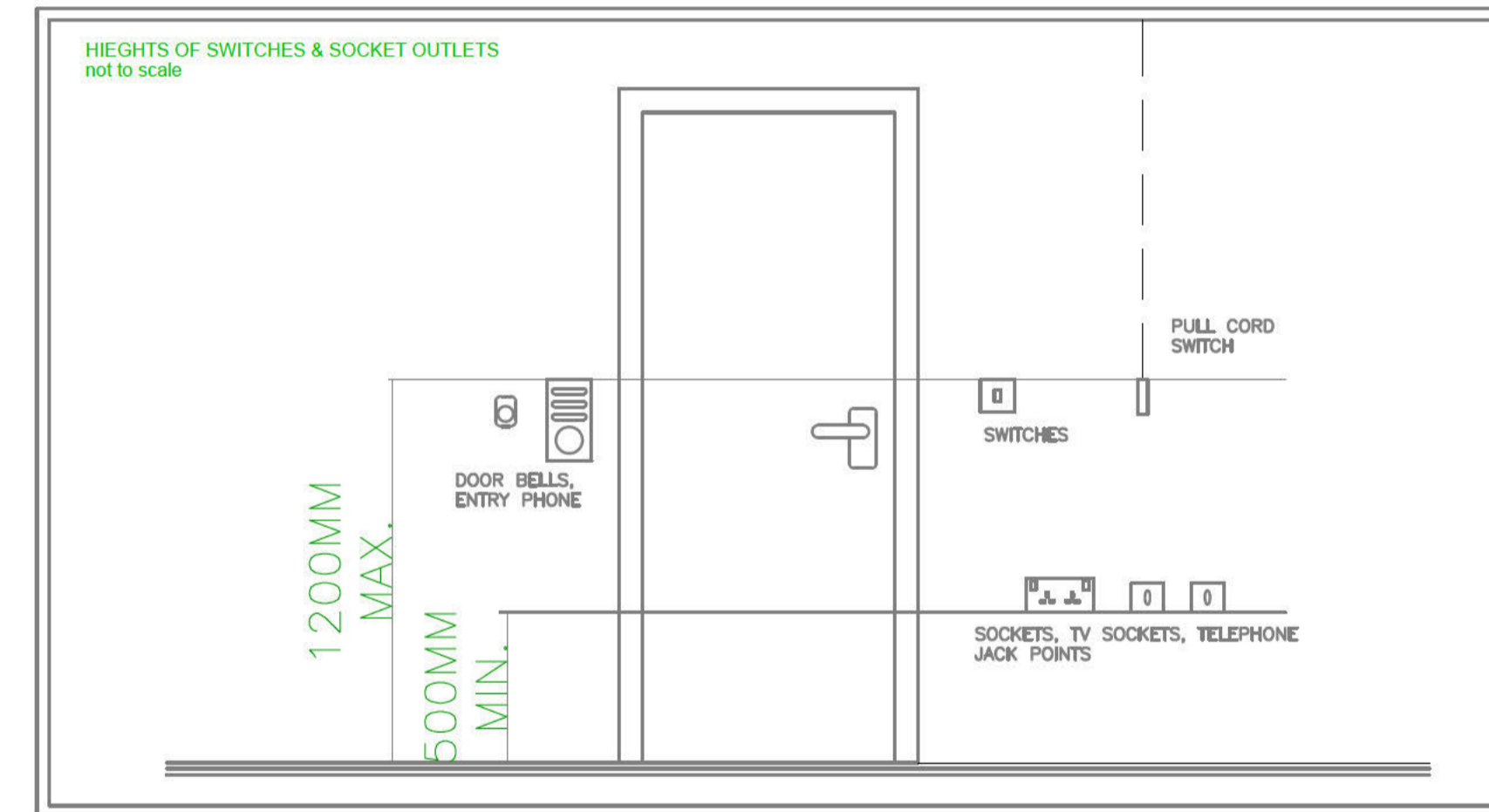
DETAIL 5
Cill
to External Wall with Smooth Plaster Finish



DETAIL 6
Jamb
to External Wall with Smooth Plaster Finish



DETAIL 7
Radon Sump Detail



DETAIL 8
Electrical Regulations

ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

Rev:	Date:	Description:

Job Description:
PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
PROPOSED CONSTRUCTION DETAILS 1

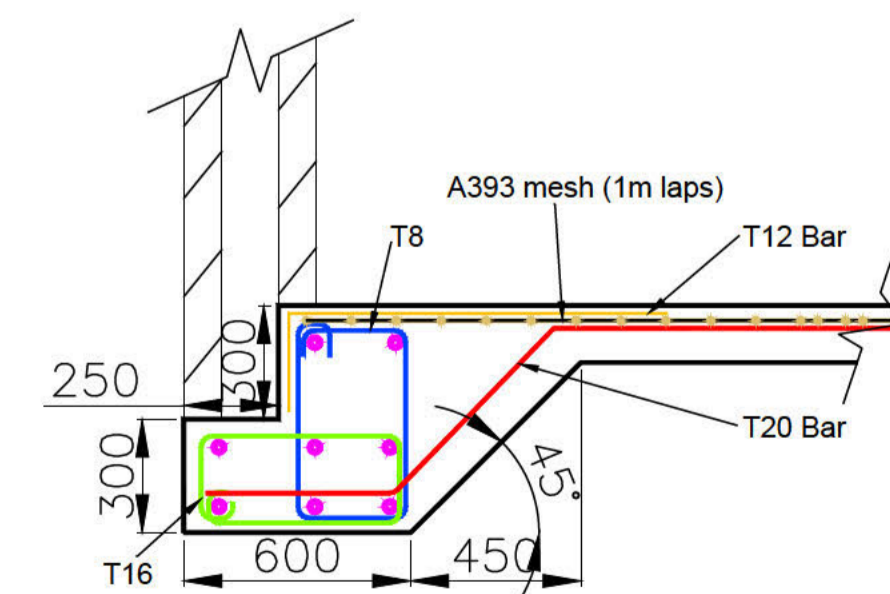
Drawing No: LF-CD-008
Drawn By: SMcC
Scale: 1:50@A1
Date: 28-01-26



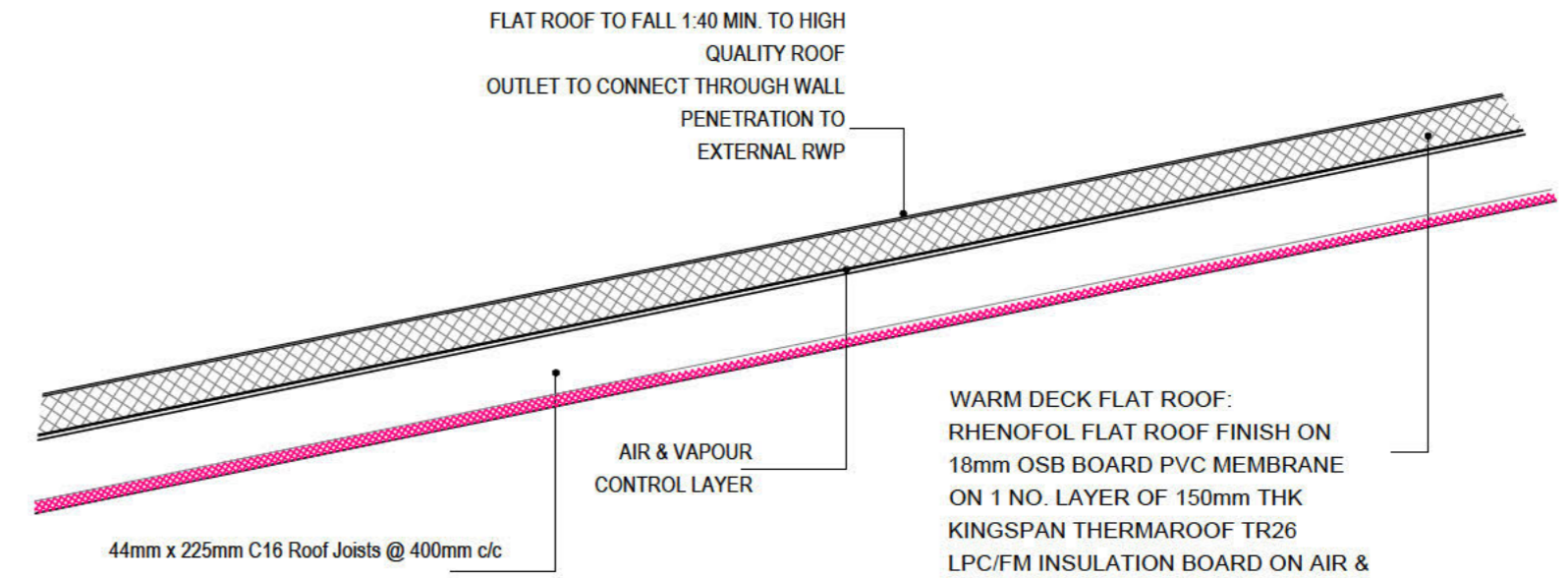
C17 DETAIL 9
Radon - To be stepped



C18 DETAIL 10
Radon - Top Hats must be provided around drainage openings



DETAIL 9
Foundation Type 2

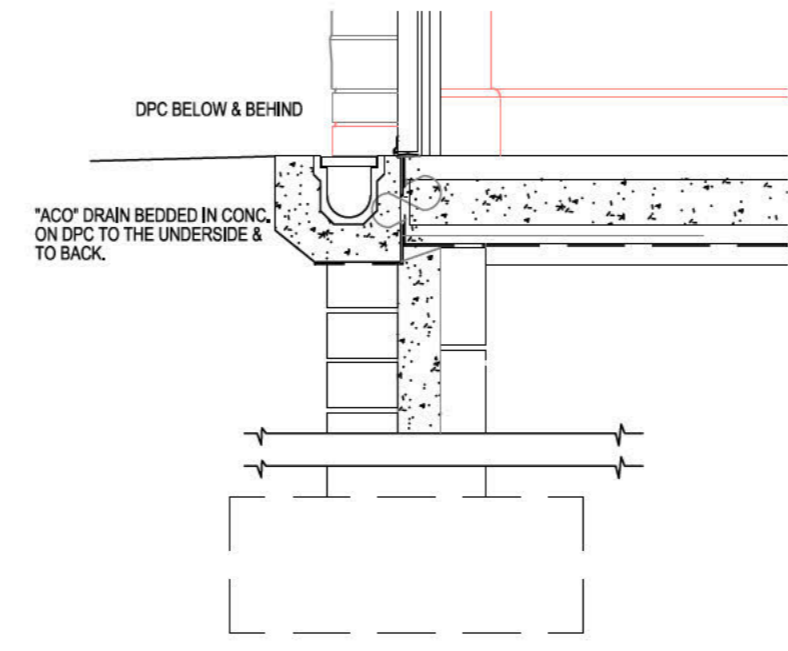


DETAIL 13 Flat Roof Detail

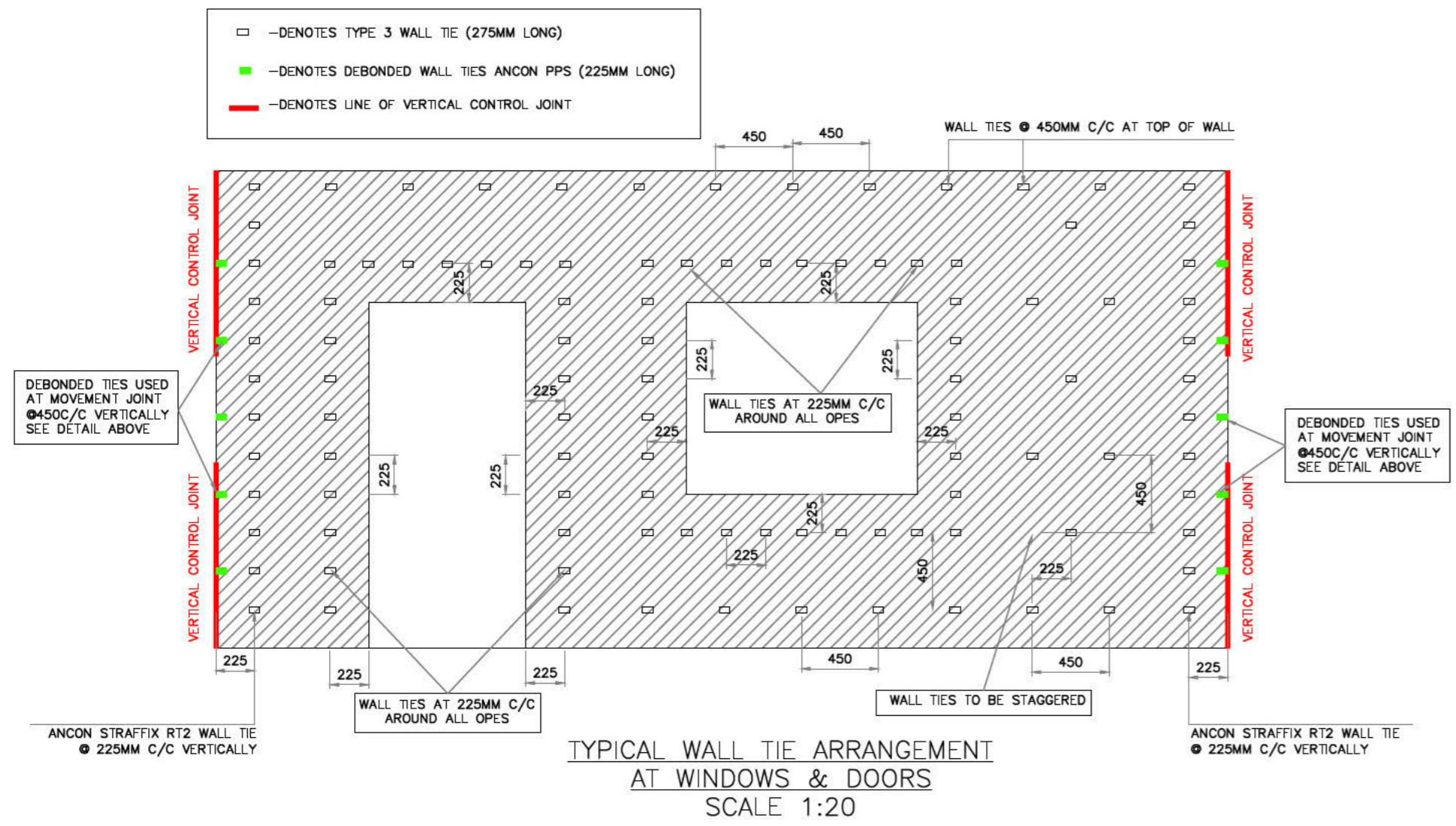
WARM DECK FLAT ROOF:
RHENOFOL FLAT ROOF FINISH ON
18mm OSB BOARD PVC MEMBRANE
ON 1 NO. LAYER OF 150mm THK
KINGSPAN THERMAROOF TR26
LPC/FM INSULATION BOARD ON AIR &
VAPOUR CONTROL LAYER ON 18mm
PLYWOOD DECKING ON TIMBER
JOISTS FIXED BETWEEN WALLS.
CERTIFIED BY AN APPROVED FLAT
ROOF SPECIALIST CONTRACTOR
37.5MM KINGSPAN KOOLTHERN K18
INSULATED BOARD TO UNDERSIDE OF
CEILING

Roof rafter pitch (degrees)	Lap required (mm)
20	220
30	150
40	115
50	100

DETAIL 14
Lap required to lead lined valley in accordance with rafter pitch.

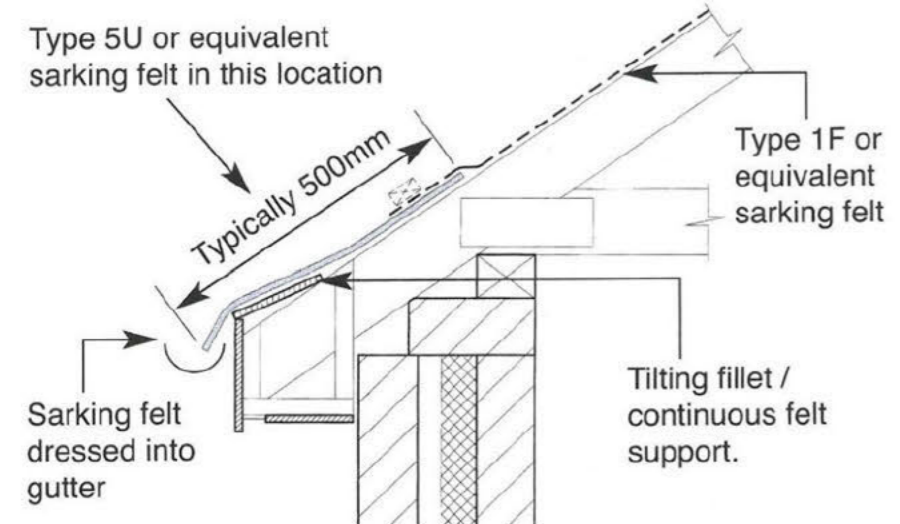


DETAIL 12
Level Threshold Detail

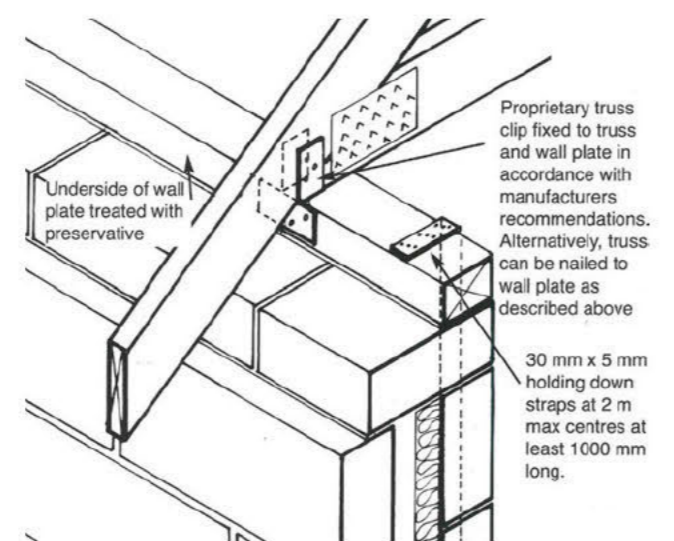


**TYPICAL WALL TIE ARRANGEMENT
AT WINDOWS & DOORS
SCALE 1:20**

DETAIL 11
Typical Wall tie arrangement at window and doors



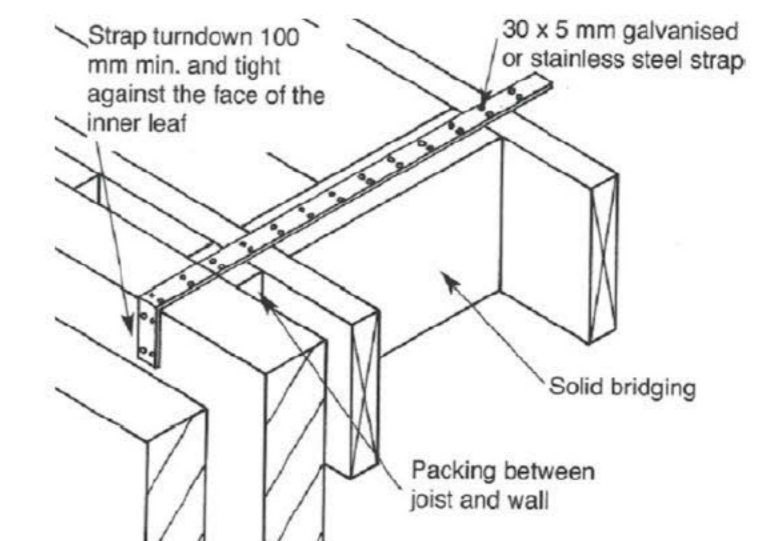
DETAIL 15
Breathable membrane at eaves detail



DETAIL 16
Example of holding down straps applied to wall plate.



DETAIL 17
Example of solid bridging between joists



DETAIL 18
Lateral restraint strap Detail

ALL WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

Rev.	Date:	Description:

Job Description:
PROPOSED EXTENSION AND ALTERATIONS TO AN EXISTING DWELLING HOUSE AND ASSOCIATED SITE DEVELOPMENT WORKS AT 241 GREENFIELD COURT, DUNDALK, CO. LOUTH A91 DD5D

Client:
LUIS ANDRES ROMERAL FERNANDEZ

Drawing Name:
PROPOSED FLOOR PLANS & SECTIONS

Drawing No: LF-CD-009 **Drawn By:** SMcC **Scale:** 1:50@A1 **Date:** 28 - 01 - 26



Louth County Council
Section 5 Declaration

Planning Ref: S5 2026/27

Applicant's Name: Luis Fernandez

Type of Application: Section 5 Declaration

Question: Whether the following is or is not development
and whether it is or is not exempted development:

1. Is the construction of a proposed single-storey, single-pitched rear extension to the existing dwelling, with an internal floor area of 22sqm, a maximum height of 3.6 metres, and a length of 8 metres measured parallel to and adjoining the lateral boundary line, located at 10cm from the lateral boundary, finished in materials to match the existing dwelling and comprising of two rooms and a toilet development and is it or is it not exempted development?

Site Location: 241 Greenfield Court, Dundalk, Co. Louth, A91DD5D

Due Date: 26/05/2026

1. Site Location and Description

A declaration has been sought in relation to a site located at 241 Greenfield Court, Dundalk, Co. Louth, a two-storey semi-detached dwelling.

The proposed single storey extension is positioned to the rear of the building, within the curtilage, as indicated on the submitted site location and layout maps. The primary use of the property is private dwelling house.

The site is zoned 'A1 – existing residential' within the settlement of Dundalk, a regional growth centre.



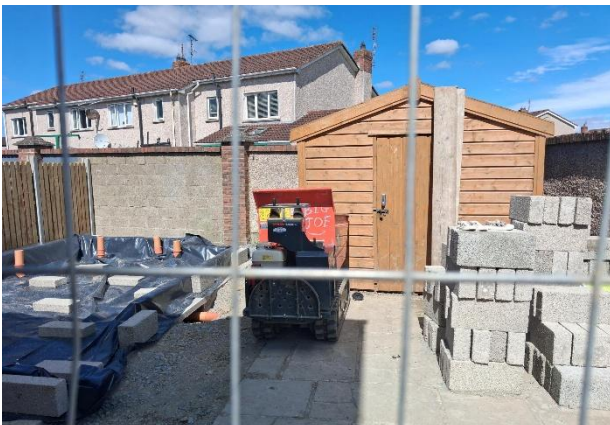
Site Location Map outlining subject site in red.



Google street view site image

2. Planning History

UD/26/081 – Complaint received in relation to unauthorized development works leading to a collapsed boundary wall and fence. The complaint also states that the new extension may affect sunlight and lead to dampness in neighbouring kitchen.



Site Visit Photos - Works completed on site thus far.

3. Declaration Sought

The applicant has submitted a request under Section 5 of the Planning and Development Act 2000 (as amended) seeking a determination on whether the proposed domestic works constitute exempted development. The specific question posed on the application form is as follows:

“Is the construction of a proposed single-storey, single-pitched rear extension to the existing dwelling, with an internal floor area of 22sqm, a maximum height of 3.6 metres, and a length of 8 metres measured parallel to and adjoining the lateral boundary line, located at 10cm from the lateral boundary, finished in materials to match the existing dwelling and comprising of two rooms and a toilet development and is it or is it not exempted development?”

The proposed development comprises the construction of a 22sqm single-storey extension to the rear of the existing terraced dwelling at 241 Greenfield Court, Dundalk.

4. Legislative Context

4.1. Planning and Development Act, 2024

Sections 1-5 of the Planning Act of 2024 commenced in December 2024.

Section 2 states that:

“*Development*” means the carrying out of any works on, in, over or under land or on, in, over or under the maritime area, or the making of any material change in the use of any structures or other land, or the sea, seabed or any structure in the maritime area.

“*Exempted development*” means (a) development of a class prescribed under *section 9*, or

(b) development that is exempted development by virtue of *section 152*;

“*structure*” means a building, edifice, construction, excavation, or other thing constructed or made on, in or under any land, or a maritime site, or any part thereof, or (b) the land or maritime site on, in or under which such building, edifice, construction, excavation, other thing or part is situated

“*Unauthorised development*” means, in relation to land or a maritime site—

(a) unauthorised works (including the construction, erection or assembly of an unauthorised structure), or

(b) an unauthorised use;

“house” means a building or part of a building that—
(a) is, or was most recently, occupied as a dwelling,
(b) was most recently provided for use as a dwelling but has not been occupied as a dwelling, or
(c) in the case of a building or part of a building containing more than one apartment, flat or other dwelling, each such apartment, flat or dwelling

4.2. Planning and Development Act 2000 (As amended)

Section 2(1) of the Act defines “works” as

“Any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal ...”

Section 3(1) of the Act defines “development” as follows:

In this Act, “development” means, except where the context otherwise requires, the carrying out any works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 4(1)(h) provides for exempted development as follows:

“Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”

Section 4(2) of the Act provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principle regulations made under this section are the Planning and Development Regulations, 2001.

4.3. Planning and Development Regulations (2001) (as amended)

4.3.1. Article 6 of the Planning & Development Regulations (PDR) 2001 (as amended)

Article 6 of the Planning & Development Regulations, 2001 (as amended) provides (subject to the restrictions in article 9 PDR 2001) for the classes of exempted development under column 1 of Parts 1, 2 and 3 of Schedule 2, subject, where applicable, to the conditions and limitations imposed upon such classes as set out in column 2.

4.3.2. Article 9 of the Planning & Development Regulations (PDR) 2001 (as amended)

Article 9 (1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development.

4.3.3. Schedule 2 – Exempted Development, Part I - Development Within the Curtilage of a House, Class 1 specifies:

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

This exemption is subject to the following limitations set out in Column 2:

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.
2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semidetached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.
4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.
(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.
(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.
5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.
6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.
(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.
(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.
7. The roof of any extension shall not be used as a balcony or roof garden

5. Assessment

- 5.1. It should be stated at the outset that the purpose of this report is not to determine the acceptability or otherwise of the proposed development in respect to the proper planning and sustainable development of the area, but rather whether the matter in question constitutes development, and if so, falls within the scope of exempted development.

5.2. Whether the extension is development

- 5.2.1. Section 2(1) of the Planning and Development Act 2000 (as amended) defines “works” as:

“Any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal ...”

Section 3(1) defines “development” as:

“In this Act “development” means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change of use of any structures or other land.”

The subject development involves the construction of a single storey extension to the rear of an existing house. It is considered that this comes within the scope of the definition of “works” and “development”, as set out above. I therefore conclude that the extension is “development”

5.3. Whether the Extension is Exempted Development

5.3.1. Both the Act and the Planning and Development Regulations 2001 (as amended) include provisions that allow for certain developments to be exempted from the need to apply for planning permission. The relevant provisions may be considered separately as follows:

- Section 4(1)(h) of the Act
- Part 1 of Schedule 2 of the Regulations
- Article 9 of the Regulations
- Conclusion

5.3.2. Section 4(1)(h)

Section 4(1)(h) of the Act provides for exempted development as follows:

“Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.”

The development in question involves the construction of a large single storey extension to the rear of the house, which significantly changes the appearance of the rear of the house. Having inspected drawings and elevations on file, the development does not come within the scope of section 4(1)(h).

5.3.3. Part 1 of Schedule 2 of the Regulations

Article (6)(1) of the Regulations states that, subject to Article 9, development of a class specified in Column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that the development complies with the conditions and limitations specified in column 2. Part 1, ‘Development Within the Curtilage of a House’, states that the following shall be exempt within same:

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, storey, shed or other similar structure attached to the rear of the house.

This exemption is subject to the following limitations set out in Column 2:

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.

The applicants dwelling has not been extended previously according to the site history and submitted plans. The proposed extension is 22 sqm, which is below of the 40 sqm limit and therefore this is compliant.

b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.

The house is a semi-detached property however this proposal consists of a single storey element only, at ground level and no first-floor element is proposed.

c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.

N/A

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.

N/A

4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

The proposed extension wall height is approx. 3.58m as shown on the proposed rear & side elevation plans. The rear wall of the main dwelling house is approx. 7.035m first floor level, which is significantly higher. This limitation is complied with.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

N/A

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

N/A

- 5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.**

There will be 40.12 sqm retained for private open space which is compliant with this limitation.

- 6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.**

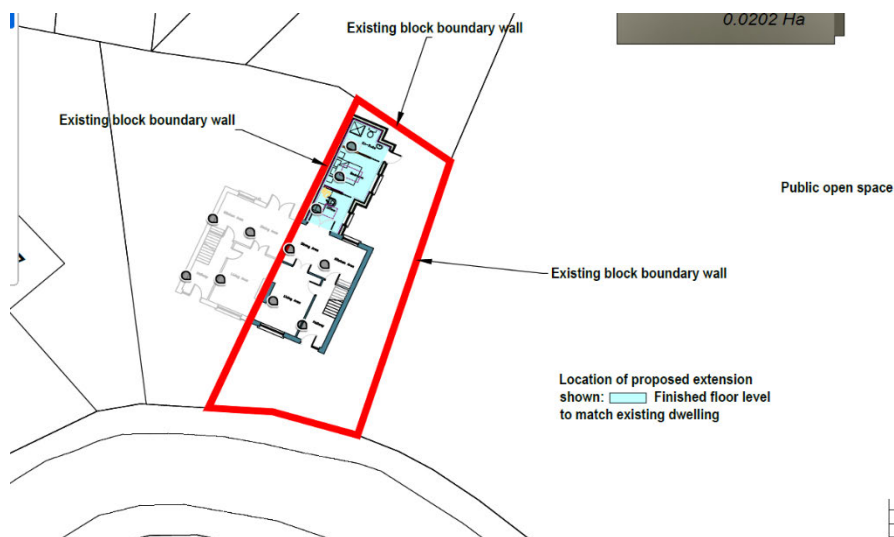
No windows are proposed on the side elevation of the party boundary, therefore the limitation does not apply, and the proposal therefore complies.

- (b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.**

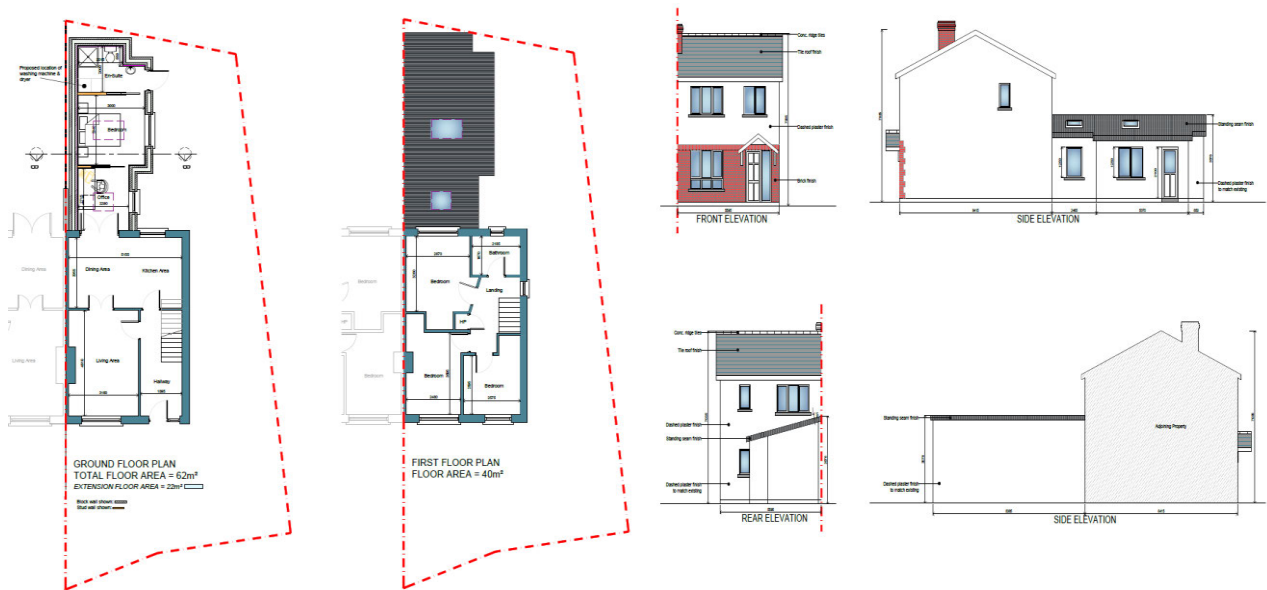
N/A

- (c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.**

N/A



Site Layout Plan



Proposed Floor Plans, Sections & Elevations

6. EIA Screening and Determination

Council Directive 85/337/EEC (as amended) on the assessment of the effects of certain public and private projects on the environment ('the EIA Directive') is designed to ensure that projects likely to have significant effects on the environment are subject to a comprehensive assessment of their environmental effects prior to development consent being given. The latest amendments to the EIA Directive are provided under Directive 2014/52/EU and Circular letter PL 1/2017. Based on information provided and having considered the nature, size and location of the development, there is no real likelihood of significant effects on the environment and as such as EIAR is **not** required.

7. Appropriate Assessment

Having regard to the nature and scale of the proposed development and the nature of the receiving environment, no appropriate assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects on a European site (Special Area of Conservation or Special Protected Area) and as such an Appropriate Assessment (Stage 2 AA) is **not** required.

8. Conclusion

Having regard to the foregoing it is considered that the proposed single storey extension to the rear of the dwellinghouse at 241 Greenfield Court, Dundalk constitutes development within the meaning of Section 3 of the Planning and Development Act 2000 (as amended).

Regarding exempted development, the proposal has been assessed against the provisions of:

- Class 1, Part 1, Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- Article 6(1)
- Article 9(1)

The development complies with all applicable conditions and limitations of Class 1. No restrictions under Article 9 apply in this case.

Accordingly, the development is considered to be exempted development.

9. Recommendation

Accordingly, it is recommended that an order is issued along the following lines:

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 (as amended) as to whether the following is or is not development and is or is not exempted development.

(a) "The construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk, is or is not exempted development."

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) *Section 2(1) of the Planning and Development Act, 2000, as amended,*
- (b) *Section 3(1) of the Planning and Development Act, 2000,*
- (c) *Section 4(1)(a) of the Planning and Development Act, 2000, as amended,*
- (d) *Article 6(1) and article 9(1) of the Planning and Development Regulations, 2001, as amended,*
- (e) *Part 1 of Schedule 2 to the Planning and Development Regulations, 2001, as amended, and in particular Class 1 thereof;*
- (g) *The planning history and existing residential use of the site.*

AND WHEREAS Louth County Council has concluded:

- (a) The construction of the proposed single-storey rear extension constitutes “development” within the meaning of Section 3 of the Act.
- (b) The proposed extension complies with the conditions and limitations of Class 1, Part 1, Schedule 2 of the Planning and Development Regulations 2001 (as amended).
- (c) None of the restrictions set out under Article 9(1) apply so as to remove exempted development status.

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the “” is **development** and is **exempted development**.

Conor Kerrigan

Conor Kerrigan
Assistant Planner
Date: 14th May 2026

Turlough King

Turlough King
A/Senior Planner
Date: 15th May 2026

Olivia McCormack
A/Director of Services
Date:

LOUTH COUNTY COUNCIL

CHIEF EXECUTIVE'S ORDER

PLANNING & DEVELOPMENT ACT 2000 (as amended)

Section 5 Exempted Development

Chief Executive's Order No:	362/2026
Reference No:	S5 2026/27
Date Application Received:	29/04/2026
Description of Development:	Whether the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk, is or is not exempted development.
Name of Applicant:	Luis Fernandez
Location of Development	241 Greenfield Court, Dundalk, Co Louth, A91DD5D

WHEREAS a question to whether "the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk" is development and whether it is exempted development

AND WHEREAS the said question was referred to Louth County Council by Luis Fernandez

AND WHEREAS Louth County Council in considering this reference, had regard reference particularly to –

- (a) Section 2(1) of the Planning and Development Act, 2000, as amended,
- (b) Section 3(1) of the Planning and Development Act, 2000,
- (c) Section 4(1)(a) of the Planning and Development Act, 2000, as amended,
- (d) Article 6(1) and article 9(1) of the Planning and Development Regulations, 2001, as amended,
- (e) Part 1 of Schedule 2 to the Planning and Development Regulations, 2001, as amended, and in particular Class 1 thereof;
- (g) The planning history and existing residential use of the site.

AND WHEREAS Louth County Council has concluded on the basis of the information submitted that:

- (a) The construction of the proposed single-storey rear extension constitutes "development" within the meaning of Section 3 of the Act.
- (b) The proposed extension complies with the conditions and limitations of Class 1, Part 1, Schedule 2 of the Planning and Development Regulations 2001 (as amended).
- (c) None of the restrictions set out under Article 9(1) apply so as to remove exempted development status.

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk, Co Louth is development and is exempted development.

SIGNED: *Conor Kerrigan* **Date: 19/05/2026**
Conor Kerrigan
Assistant Planner

ORDER: In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and I hereby direct that a **Declaration of Exemption be GRANTED** for the development as described above.

Signed: *Thomas McEvoy* **Date: 22/05/2026**
Thomas McEvoy
Director of Service

To whom this function has been delegated in accordance with the provisions of Section 154 of the Local Government Act, 2001 by Order No. CE.S. 201/25 dated the 14th day of May 2025.



Comhairle Contae Lú
Louth County Council

Luis Fernandez
241 Greenfield Court
Dundalk
Co Louth
A91DD5D

By email only to [REDACTED]

22nd May 2026

Re: Ref. S5 2026/27

Application for Declaration of “Exempted Development” Part 1, Section 5 Planning & Development Act, 2000 (as amended) as to ‘Whether the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk, is or is not exempted development’

Dear Sir/Madam,

I wish to acknowledge receipt of your application received on 29th April 2026 in relation to the above. Having assessed all information and enclosures received with the application, the Planning Authority wishes to advise as follows: -

WHEREAS a question to whether “the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk, is or is not exempted development”.

AND WHEREAS the said question was referred to Louth County Council by Luis Fernandez,

AND WHEREAS Louth County Council in considering this reference, had regard reference particularly to –

- (a) Section 2(1) of the Planning and Development Act, 2000, as amended,
- (b) Section 3(1) of the Planning and Development Act, 2000,
- (c) Section 4(1)(a) of the Planning and Development Act, 2000, as amended,
- (d) Article 6(1) and article 9(1) of the Planning and Development Regulations, 2001, as amended,
- (e) Part 1 of Schedule 2 to the Planning and Development Regulations, 2001, as amended, and in particular Class 1 thereof;
- (g) The planning history and existing residential use of the site.

Comhairle Contae Lú
Halla an Bhaile
Sráid Crowe
Dún Dealgan
Contae Lú
A91 W20C

Louth County Council
Town Hall
Crowe Street
Dundalk
County Louth
A91 W20C

T + 353 42 9335457
E info@louthcoco.ie
W www.louthcoco.ie

Cuirfear fáilte roimh chomhfhreagras Gaeilge - Correspondence in Irish is welcome
Féach foláirimh faoi Lú ón gComhairle ag www.mapalserter.ie/Louth
View Council alerts for Louth at www.mapalserter.ie/Louth

AND WHEREAS Louth County Council has concluded on the basis of the information submitted that:

- (a) The construction of the proposed single-storey rear extension constitutes "development" within the meaning of Section 3 of the Act.
- (b) The proposed extension complies with the conditions and limitations of Class 1, Part 1, Schedule 2 of the Planning and Development Regulations 2001 (as amended).
- (c) None of the restrictions set out under Article 9(1) apply so as to remove exempted development status.

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the construction of a 22sqm single-storey rear extension to the rear of 241 Greenfield Court, Dundalk is development and is exempted development.

In Summary

A Declaration of Exemption is hereby GRANTED for the development as detailed on the plans and particulars submitted on 29th April 2026.

This decision may be referred by you to An Coimisiún Pleanála for review within 4 weeks of the date of this letter subject to the payment of the appropriate fee.

Yours faithfully,



Brian Duffy
Planning Section